

# **ACTIVITY DETERMINATION**

**Project No. BGYK6** 

## Conflict of Interest<sup>1</sup>

In this matter:

- 1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive Officer, Land & Housing Corporation.
- 2. I do not consider I have any personal interests that would affect my professional judgement.
- 3. I will inform the Acting Chief Executive Officer, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed

Name: Emma Nicholson

Dated

8 September 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No	Street or property name
1	Winbourne Street
6	Mulgoa Way
Suburb, town or locality	Postcode
Mudgee	2580
Local Government Area(s)	Real property description (Lot and DP)
Mid-Western Regional Council	Lots 17 & 18 in Deposited Plan 230349

## **ACTIVITY DESCRIPTION**

Provide a description of the activity

Demolition of existing dwellings and associated structures, subdivision of 2 lots into 4 Torrens Title lots and construction of 4 x single storey dual occupancies, consisting of 7 x 2 bedroom and 1 x 1 bedroom dwellings, with attached garages and associated landscaping and construction of sewer main extension and easement over Lots 19 & 20 DP230349, No.s 1A and 3 Winbourne St.

<sup>1.</sup> Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated....8 September 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation

# **SCHEDULE 1**

# **Recommended Identified Requirements**

# **PART A - Standard Identified Requirements**

## THE DEVELOPMENT

The following identified requirements are to ensure that the residential development activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021

 The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

Title / Name:	Drawing No /	Revision	Date	Prepared by:
-	<b>Document Ref</b>	/ Issue:	[dd.mm.yyyy]:	
Coversheet &	00	D	20.04.2023	Housing Plus
Perspectives				
Block Analysis	01	D	20.04.2023	Housing Plus
Survey	02	D	20.04.2023	Housing Plus
Demolition Plan	03	D	20.04.2023	Housing Plus
Services Plan	04	D	20.04.2023	Housing Plus
Subdivision Plan	05	D	20.04.2023	Housing Plus
Development Data	06	D	20.04.2023	Housing Plus
Proposed Site Plan	07	D	20.04.2023	Housing Plus
Site Analysis Plan	08	D	20.04.2023	Housing Plus
Proposed Landscaping	09	D	20.04.2023	Housing Plus
Plan				
Solar Access Diagram	10	D	20.04.2023	Housing Plus
Shadow Diagrams	11	D	20.04.2023	Housing Plus
Proposed Roof Plan	12	D	20.04.2023	Housing Plus
Proposed Floor Plans	13	D	20.04.2023	Housing Plus
Units 1 & 2 Layout	14	D	20.04.2023	Housing Plus
Units 3 & 4 Layout	15	D	20.04.2023	Housing Plus
Units 5 & 6 Layout	16	D	20.04.2023	Housing Plus
Units 7 & 8 Layout	17	D	20.04.2023	Housing Plus
Sections & Elevations	18	D	20.04.2023	Housing Plus
Finishes Schedule	19	D	20.04.2023	Housing Plus
Streetscape Perspective	20	D	20.04.2023	Housing Plus

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Cover Sheet	27736-C00	C C	27.03.2023	Barnson
Level and Detail Survey	27736-C01	В	27.03.2023	Barnson
Plan	27730 001		27.03.2023	Burnson
Proposed Site Plan	27736-C02	G	27.03.2023	Barnson
Proposed Sewer Plan	27736-C03	I	27.02.2023	Barnson
Proposed Sewer Details	27736-C04	С	27.02.2023	Barnson
and Longsection				
Proposed Stormwater	27736-C05	Н	27.03.2023	Barnson
Management Plan				
Proposed Stormwater	27736-C06	В	26.05.2022	Barnson
Details				
Proposed Water Plan	27736-C07	В	23.03.2023	Barnson
Proposed Sediment and	27736-C07	G	27.02.2023	Barnson
Erosion Control Plan				
Proposed Sediment and	27736-C09	D	27.02.2023	Barnson
Erosion Control Details				
BASIX Certificate Units 1-	1354705M	/	14.11.2022	Kiho Building Consulting
2				
BASIX Certificate Units 3-	1355715M	/	14.11.2022	Kiho Building Consulting
4				
BASIX Certificate Units 5-	1355718M	/	14.11.2022	Kiho Building Consulting
6				
BASIX Certificate Units 7-	1355719M	/	14.11.2022	Kiho Building Consulting
8				
NatHERS Certificate	0008209360	/	14.11.2022	Kiho Building Consulting
Access Report - Appendix	220013_WINBOU	/	January 2022	Premise
G	RNE_U1_DESIGN			
Geotechnical	37752-GR01_B	В	4.11.2022	Barnson
Investigation and Acid				
Sulfate Soil Assessment -				
Appendix K				
Waste Management Plan	37144-WMP01_A	В	14.11.2022	Barnson
– Appendix L				
Flood Advice Letter –	/	/	7.11.2022	Structa Consulting Engineers
Appendix U				
Asbestos Survey Report –	S4	0	22.12.2021	GHD
Appendix V				

- 2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
- 3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
- 4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
- 5. The land the subject of this determination shall be consolidated and then subdivided as shown on the proposed plans with easements as proposed. The plan subdivision shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

### **OPERATIONAL MATTERS**

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

### Stormwater Run-off

- 6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the council for the area substantially in accordance with the approved concept stormwater drainage plans.
- 7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
- 8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
- 9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

### **Vehicular Access & Parking**

- 10. Concrete vehicular crossings and laybacks shall be provided at the entrances/exits to the property. The crossings and laybacks shall be constructed in accordance with the council for the area's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.
- 11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks/driveways shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with the council's standards.
  - Note: It is recommended that discussions be held with the relevant authorities before construction works commence.
- 12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

### **Site Works**

- 13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
- 14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

## **Building Siting**

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

### Smoke Detection System(s)

- 16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
  - i. connected to a permanent 240V power supply; and
  - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

### Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

### Landscaping

- 18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. The Mid-Western Regional Council shall be consulted in relation to the planting of any street trees.
- 19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

### Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arborist Impact Report and no other trees shall be removed without further approval(s).

# **Fencing**

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

### **Provision of Letterbox Facilities**

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

# **Public Liability Insurance**

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

### PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site.

### **Service Authority Clearances**

24. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. Mid-Western Regional Council), confirming service availability prior to work commencing.

### Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

- 25. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
- 26. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
- 27. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

### **Utilities Service Provider Notification**

28. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Mid-Western Regional Council) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

### Note

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

### **Disconnection of Services**

- 29. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
- 30. All existing services within the boundary to remain live shall be identified, pegged and made safe.

### **Demolition**

- 31. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of two days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
- 32. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.

33. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

### Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

# Stormwater Disposal

- 34. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (eg the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or the Council for the area's drainage code.
- 35. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

### **Council Notification**

36. The Council for the area shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of five (5) working days notification shall be given.

### Landfill

- 37. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
- 38. Land fill materials must satisfy the following requirements:
  - i. Shall be Virgin Excavated Natural Matter (VENM);
  - ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radio-active matter; and
  - iii. Shall be free of industrial waste and building debris.

# Site Facilities

- 39. The following facilities shall be installed on the site:
  - (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the council for the area or if this is also not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
- 40. Access to the site shall only be provided via an all-weather driveway on the property and shall not be provided from any other site.

### **Site Safety**

- 41. A sign shall be erected in a prominent position on the site:
  - (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
  - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

### Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

42. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

### Note:

Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

43. Building and demolition materials shall not be stored on the footpath or roadway.

# **Protection of Trees**

44. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arborist Impact Report.

### **Waste Management**

45. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

### **DURING DEMOLITION / CONSTRUCTION**

The following identified requirements are to be complied with whilst works are occurring on the site.

# Heritage

- 46. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act* 1977 and *National Parks and Wildlife Act* 1974, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items or Indigenous items have been uncovered, the Department of Planning and Environment must be contacted.
- 47. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval..

### Demolition

- 48. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
- 49. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
- 50. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.
- 51. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2<sup>nd</sup> Edition [NOHSC:2002 (2005)].
- 52. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
- 53. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
- 54. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- 55. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
- 56. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

# **Survey Reports**

57. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

# Hours of Demolition / Construction / Civil Work

58. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

### **Excavation & Backfilling**

59. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

### **Pollution Control**

60. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former NSW Department of Environment and Climate Change.

- 61. No fires shall be lit, or waste materials burnt, on the site.
- 62. No washing of concrete forms or trucks shall occur on the site.
- 63. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
- 64. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 65. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
- 66. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

### **Impact of Construction Works**

- 67. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
- 68. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

### PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

# General

69. The occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

# **Termite Protection**

70. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

## **Council Infrastructure Damage**

71. The cost of repairing any damage caused to the council for the area's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

# **Stormwater Drainage**

72. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-

site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures: and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the council for the area's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and the council for the area.

### PART B - Additional Identified Requirements

### Site Specific Requirements

- 73. The recommendations made in Section 5 of the supporting Arborist Impact Report must be implemented prior to and during construction of the development.
- 74. The recommendations made in Sections 7 and 8 of the supporting Geotechnical Investigation Report must be implemented to the design of the development and prior to and during construction.
- 75. All identified ACM must be removed prior to demolition in accordance with the Code of Practice: How to Safely Remove Asbestos, 2019. SafeWork NSW.
- 76. Inaccessible areas identified during the ABM survey should be investigated prior to any demolition works commencing to confirm the presence (or otherwise) of ABM materials. Any additional materials identified should be removed prior to demolition in accordance with relevant Codes of Practice and Legislation.
- 77. Prior to demolition, all asbestos building materials likely to be disturbed by those works must be removed.
- 78. Should suspect materials be identified that are not identified within the asbestos building materials register or supporting systems, then the material should be sampled and analysed for the suspected hazard. If applicable, any associated works with potential to disturb the material are to cease and the area made safe. If the suspect material has already been disturbed, then the overarching provisions of an Asbestos Management Plan or similar, are to be followed, including advice sought from a suitably qualified and experienced professional.

## **Requirements Resulting from Council Comments**

- 79. Individual and separately metered water connections will need to be provided for each dwelling.
- 80. A Private Works application to quote for all alterations / connections to 'live' mains must be submitted at which time Council will advise whether Council will undertake the works or permit the work to be carried out under supervision.

# **ADVISORY NOTES**

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialling 1100.



# **Decision Statement**

SITE IDENTIFICATION					
STREET ADDRESS					
Unit/Street No	Street or property name				
1 6	Winbourne Street Mulgoa Way				
Suburb, town or locality	Postcode				
Mudgee	2580				
Local Government Area(s)	Real property description (Lot and DP)				
Mid-Western Regional	Lots 17 & 18 in DP 230349				
ACTIVITY DESCRIPTION					
Provide a description of the activity	,				
Demolition of existing dwellings and associated structures, subdivision of 2 lots into 4 Torrens Title lots and construction of 4 x single storey dual occupancies, consisting of 7 x 2 bedroom and 1 x 1 bedroom dwellings, with attached garages and associated landscaping and construction of sewer main extension and easement over Lots 19&20 DP230349, No.s 1A and 3 Winbourne St.					

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing)* 2021 (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act* 1979 (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation* 2021.

Based on the REF document and supporting documentation, including advice from Mid-Western Regional Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

### Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

### Reasons for the Decision

 Following an assessment of the proposed activity and associated environmental impacts within the REF it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.  The proposed development will assist LAHC in providing new, fit for purpose housing in Mudgee which will assist in addressing the existing and growing demand for accommodation in this local government area.

# Mitigation Measures

 Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 8. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed.....

Dated.....8 September 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

# **GENERAL NOTES:**

 BUILDER/CONTRACTOR NOTE, CHECK AND VERIFY ALL DIMENSIONS, LEVELS SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF WORK REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S REPRESENTATIVE. NOTED DIMENSIONS

- LEVELS ARE TO BE VERIFIED ON SITE ALL WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA (NCC), CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS. REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANT DRAWINGS ALL BUILDING WORK TO BE TERMITE PROTECTED IN ACCORDANCE WITH AS 3660.1. DURABILITY NOTICE TO BE PLACED IN METER BOX INDICATING TYPE
- OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS AND MAINTENANCE BUILDER/CONTRACTOR TO TAKE ALL STEPS NECESSARY TO ENSURE STABILITY OF EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION. ALL SITE INFORMATION INCLUDING SERVICES AND LEVELS HAVE BEEN. TAKEN FROM DISCLOSURE PLAN INFORMATION ONLY AND MUST BE
- CONFIRMED WITH AN UP-TO-DATE SURVEY AND CHECKED ON SITE CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT,

# SPECIFICATION:

ALL MATERIALS SHALL BE NEW UNLESS SPECIFIED OTHERWISE.

 ALL PLUMBING WORKS TO BE CONCEALED ALL PLUMBING WORKS TO COMPLY WITH RELEVANT WATER SAVING TARGETS KEEP NON-WALL MOUNTED HWS 100 CLEAR OF WALLS

FOOTINGS AND SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH

 BRICKWORK SHALL BE STRAIGHT, PLUMB AND LEVEL (AS PER AUSTRALIAN BRICK VENEER WALLS SHALL BE CONSTRUCTED WITH MEDIUM DUTY WALL TIES. N2 - 450mm cts HORIZONTALLY & 514mm cts VERTICALLY N3 - 450mm cts HORIZONTALLY & 429mm cts VERTICALLY.

ENGINEER'S DETAILS. REFER ENGINEER'S DETAILS FOR SOIL CLASSIFICATION

 PROTECTION OF MASONRY WALL TIES TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.2 OF THE NCC.

 TIMBER CONSTRUCTION TO COMPLY WITH AS1684 - 2010. PROVIDE TERMITE PROTECTED 'BLUE PINE' TO WALL FRAME. FOR ALL CAVITY SLIDING DOORS PROVIDE 90mm TIMBER WALL FRAMES U.N.O. NOGGINGS AT 1350mm cts MAXIMUM VERTICALLY

 EXTERIOR LININGS AS NOTED ON DRAWINGS INTERIOR LININGS, 10mm FLUSH PLASTERBOARD LININGS TO WALLS AND CEILINGS, WALLS TO WET AREAS TO BE 6mm VILLABOARD (U.N.O.)

• GLASS INSTALLATION TO COMPLY WITH AS1288 AND AS2047. ALL WINDOWS AND SLIDING DOORS TO BE POWDERCOATED ALUMINIUM UNLESS OTHERWISE NOTED AND FIXED TO MANUFACTURER'S DETAILS AND

# SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES (1) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR

(2) ALL BATHROOMS & ENSUITES (3) FULLY GLAZED DOORS (4) WITHIN 300mm OF A DOOR AND MORE THAN 1200mm ABOVE FLOOR

# ROOF PITCH AS INDICATED ON DRAWINGS

• PROVIDE TERMITE PROTECTED 'BLUE PINE' TO ROOF TRUSSES PREFABRICATED TIMBER ROOF TRUSSES SUPPLIED AND FIXED TO MANUFACTURER'S DETAILS AT 600 CRS.

• CEILING BINDERS EVENLY SPACED THROUGHOUT CEILING SPACE NO ANTICON UNDER METAL ROOF SHEETING U.N.O. MANHOLE POSITION APPROX. ONLY, DETERMINE ON SITE

"WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS". SELECTED COLORBOND SHEET ROOF FIXED TO MANUF'S SPECIFICATIONS

 CONCRETE TILE ROOF: ROOF BATTENS FIXED IN ACCORDANCE WITH COLORBOND FASCIA AND GUTTER SYSTEM, 90 DIA. PVC DOWNPIPES U.N.O.

WET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS 3740

# PROPOSED 4X DUAL OCCUPANCIES & SUBDIVISION OF 2 LOTS INTO 4

1 WINBOURNE STREET & 6 MULGOA WAY MUDGEE, NSW 2850



# **Drawing Index** Dwg # | Drawing Name 00 COVER SHEET & PERSPECTIVES 01 BLOCK ANALYSIS 02 | SURVEY 03 DEMOLITION PLAN 04 | SERVICES PLAN 05 | SUB-DIVISION PLAN 06 DEVELOPMENT DATA 07 | PROPOSED SITE PLAN 08 | SITE ANALYSIS PLAN 09 PROPOSED LANDSCAPING PLAN 10 | SOLAR ACCESS DIAGRAM 11 | SHADOW DIAGRAMS 12 PROPOSED ROOF PLAN 13 PROPOSED FLOOR PLANS 14 UNITS 1 & 2 LAYOUT 15 UNITS 3 & 4 LAYOUT 16 UNITS 5 & 6 LAYOUT 17 UNITS 7 & 8 LAYOUT 18 | SECTIONS & ELEVATIONS 19 | FINISHES SCHEDULE

20 STREETSCAPE PERSPECTIVE

# WINBOURNE STREETSCAPE



SUBJECT SITE

# Project proposal description:

Demolition of existing dwellings and associated structures, Subdivision of 2 lots into 4 Torrens Title lots and construction of 4 x single storey dual occupancies, consisting of 7 x 2 bedroom and 1 x 1 bedroom dwellings, with integral garages and associated landscaping and construction of sewer main extension and easement over Lots 19&20 DP230349, No.s 1A and 3 Winbourne St.

**Housing Plus** 



**COVER SHEET &** 

DETERMINED by the NSW Land and Housing Corporation on:

8 September 2023

WALK-IN LINEN CLOSET GLASS SLIDING (X), GLASS FIXED (C DENOTES WIRED SMOKE DETECTO

STEEL COLUMN TO ENG'S DE

MANHOLE ROOF ACCESS MIRROR SLIDING DOOR 1/2 MIRROR & 1/2 VINYL S/D

NATIONAL BROADBAND NETWO

SQ. HOLLOW SECTION STEEL PO

VINYL SLIDING DOOR TOILET PAN (WATER CLOSET WASHING MACHINE SPACE

OVERHEAD CUPBOARD ROBE HOOK

WARDROBE RANGE HOOD REFRIGERATOR SPACE RECT. HOLLOW SECT. STEEL POS

WINBOURNE STREET & 6 MULGOA WAY Planning MUDGEE, NSW 2850 MICHEAL KIHO LAND & HOUSING CORPORATION **PERSPECTIVES Environment** 





PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING



EXISTING SINGLE STOREY BRICK VENEER DWELLING

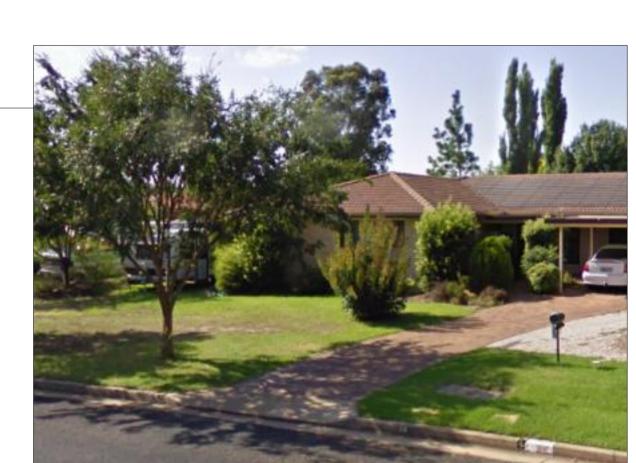


**EXISTING SINGLE STOREY BRICK VENEER DWELLING** 

# PREDOMONANT BLOCKS **RECTANAGULAR PATTERN** & 600-1000M<sup>2</sup>



**EXISTING SINGLE STOREY BRICK VENEER DWELLING** 



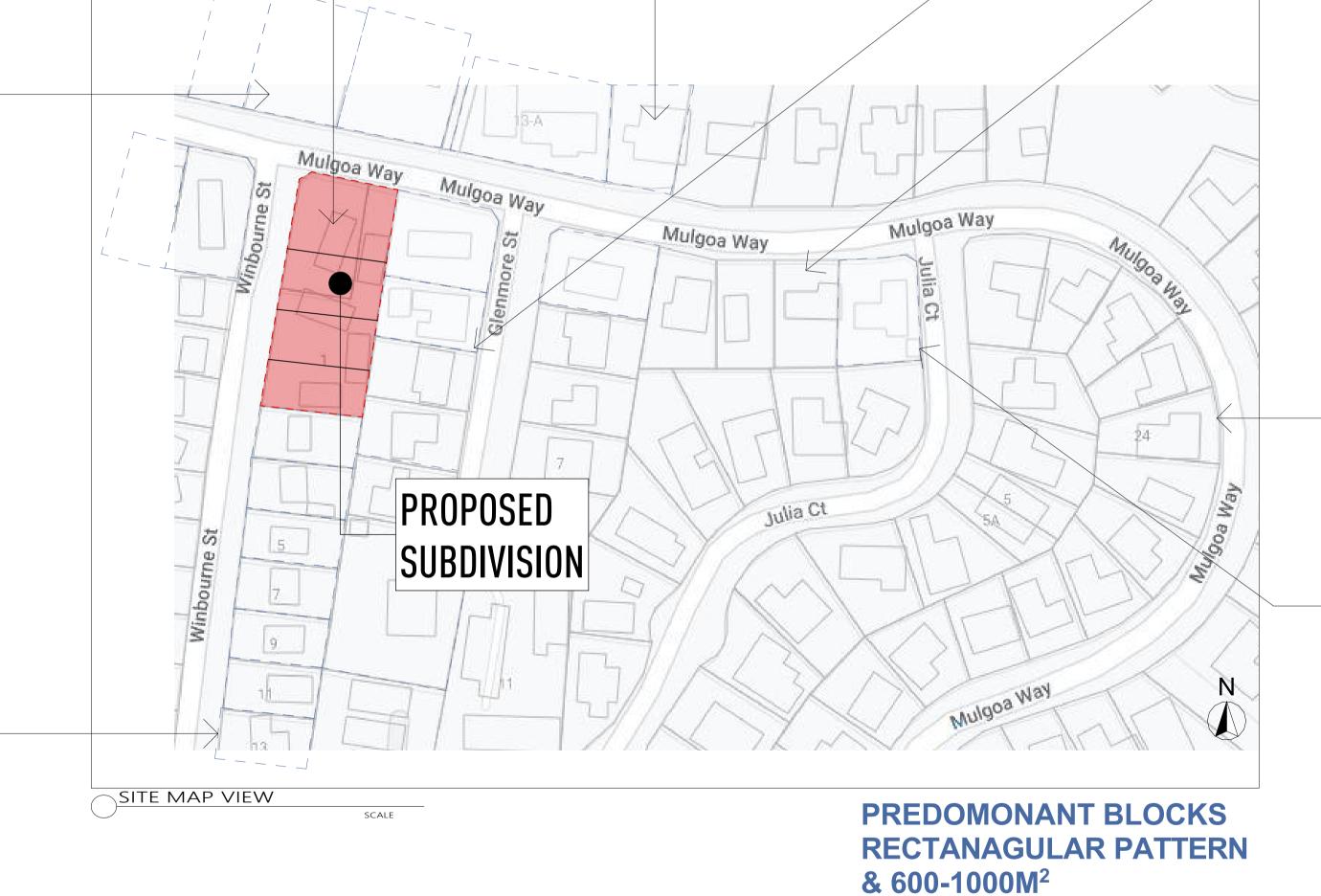
**EXISTING SINGLE STOREY BRICK VENEER DWELLING** 

# **AMALGAMATION & SUB-DIVISION OF LOTS** SUPPORTS PROPOSED DEVELOPEMENT



**EXISTING SINGLE STOREY BRICK VENEER DWELLING** 





**EXISTING SINGLE STOREY BRICK VENEER DWELLING** 

HISTORICAL SUBDIVISION OF LOTS & BLOCKS PROPOSED DEVELOPMENT OWNED HAVE BEEN FOR RESIDENTIAL PURPOSE OF

600-1000m<sup>2</sup>. THIS PROPOSED BUILDING TYPE IS CONSISTENT WITH THE HISTORICAL **RELATIONSHIP** 

TO THE LOTS IN THE THE AREA.

**LEGEND: BLOCK PLAN** 

**BOUNDARY LINE TO** LOTS OWNED BY OTHERS

MOSTLY TYPICAL RECTANGULAR LOTS WITH VARIED LOT SIZES IN THE VICINITY OF THE NEW DEVELOPMENT. LOTS BECOME IRREGULAR TOWARDS BLOCK ENDS



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1 WINBOURNE STREET & 6 MULGOA WAY MUDGEE, NSW 2850

BASIX CONSULTANT
MICHEAL KIHO LAND & HOUSING CORPORATION LANDSCAPE CONSULTANT OUTSCAPE LANDSCAPE DESIGN

PH (02) 9354 1880

BARNSON ENGINEERS



**BLOCK ANALYSIS** 

 ${\bf 4}$  . The design & details contained on this drawing is supplied IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT PERMISSION FROM HOUSING PLUS

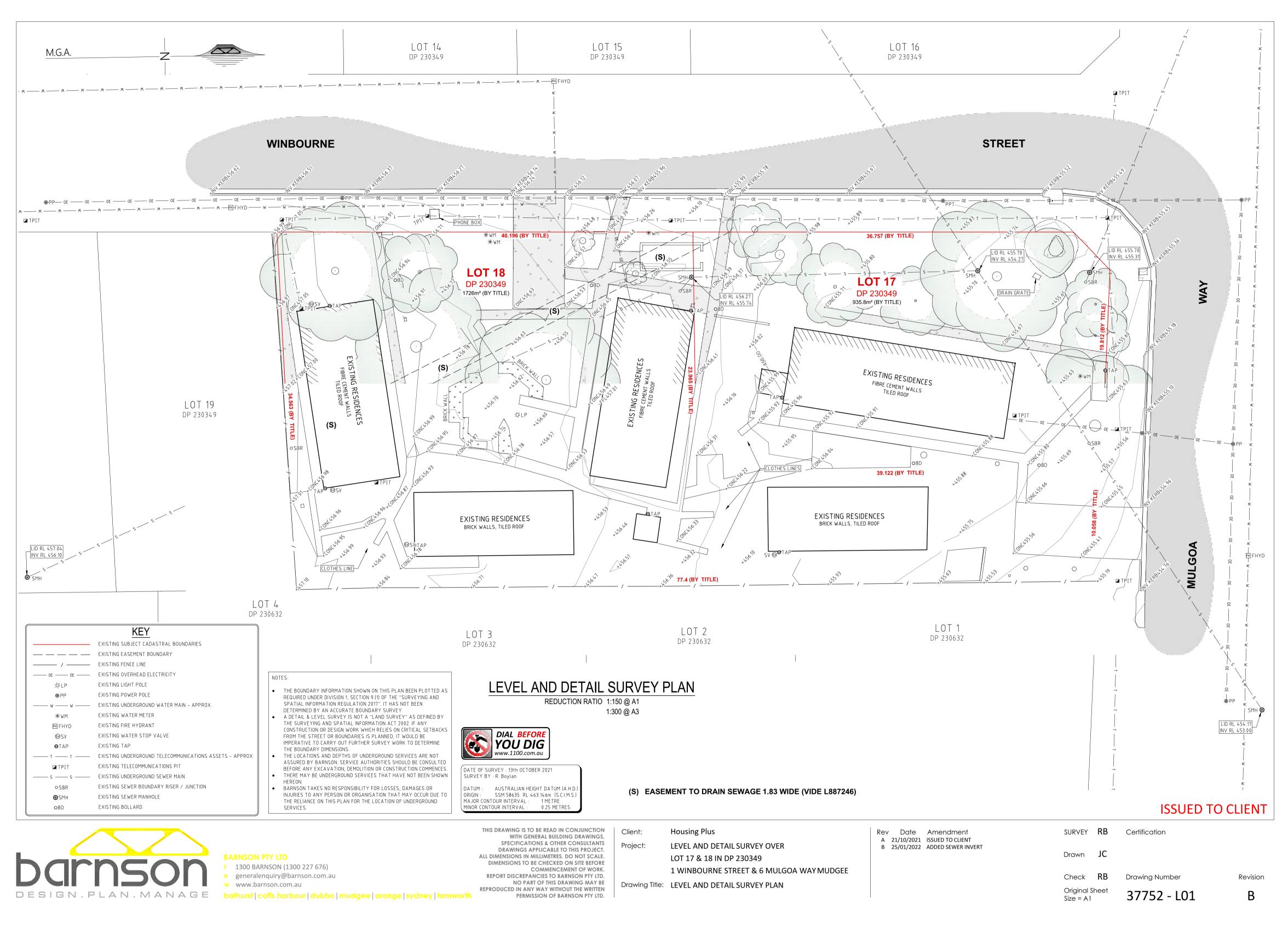
1. DO NOT SCALE FROM DRAWINGS/USE WRITTEN DIMENSIONS ONLY.

2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO

3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER

HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL

STRUCTURAL ELEMENTS TO SUIT



Survey Scale 1:200

# NOTE:

the neighboring allotments where affected by the demolition works shall be adequately fenced and made safe so as to comply with 'AS 1926 Swimming Pool Safety Parts 1 & 2 prior to commence-ment of any

Materials removed or displaced from the building shall not be placed in any street, road or right of way and before commencing where required shall be kept sprayed with water so as to prevent any nuisance from dust Materials removed or displaced from the building being demolished or materials left standing shall not be burned on the demolition site Removal of buildings by road must be approved by Relevant Councils

A site management plan is to be implemented during demolition works to control sediment run-off in accordance with local government council. Provide 'propex' or equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits / sumps and install 'silt stop' filter bags over all storm water entry pits during demolition works. 'Supergro' or equivalent erosion control fabric to be placed over garden

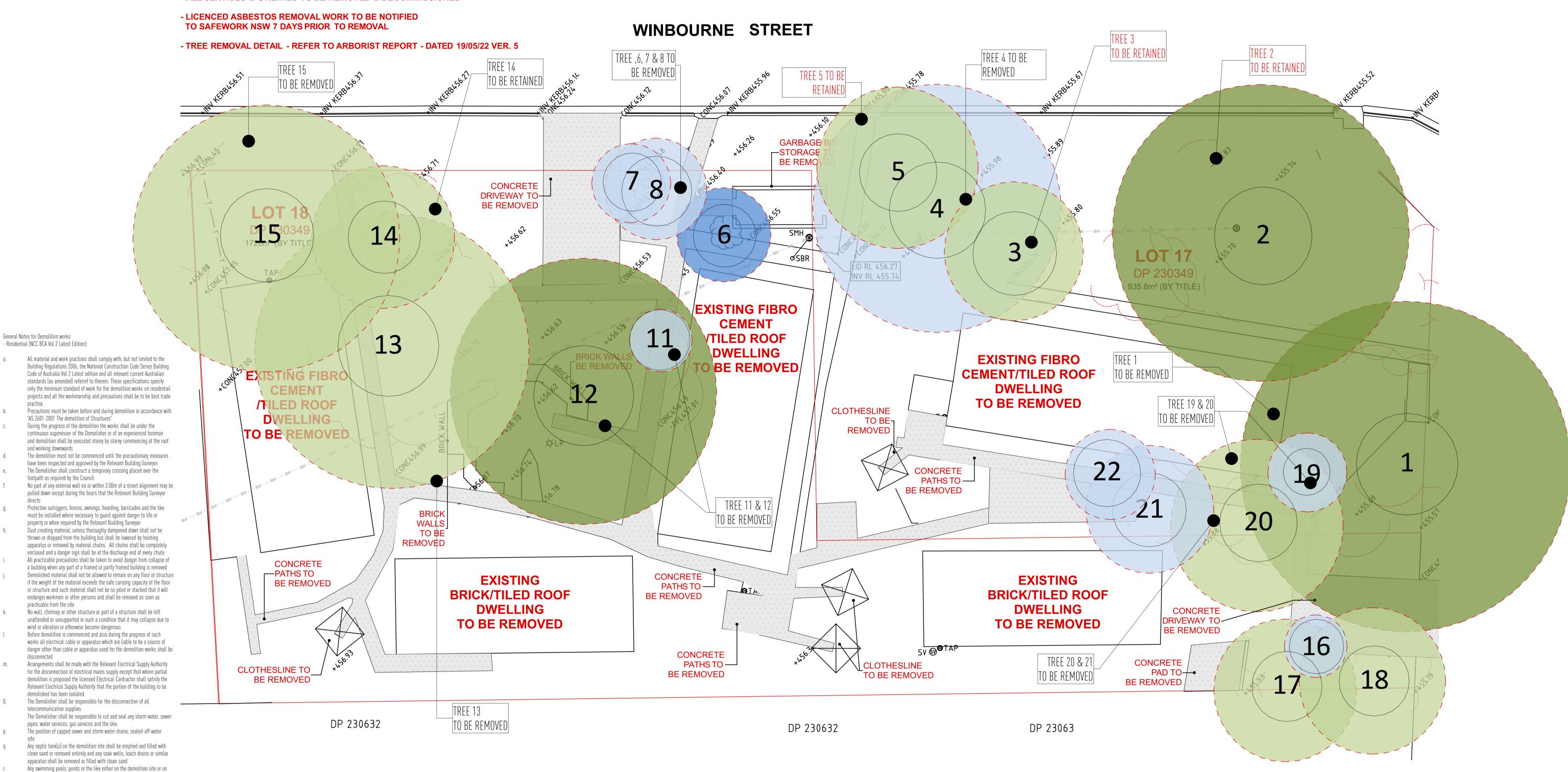
beds to prevent surface erosion during revegitation period It is the builder's responsibility to carry out an audit prior to the commencement of any works to determine if asbestos is present in the existing works. Where any asbestos product is found in the proposed works area during initial inspection or during the course of the demolition works the builder shall engage an authorised and registered contractor for

safe removal and lawful disposal

demolition works

Traffic Engineer

- ALL SERVICES & UTILITIES TO BE REMOVED & DECOMMISSIONED





MUDGEE, NSW 2850

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MICHEAL KIHO

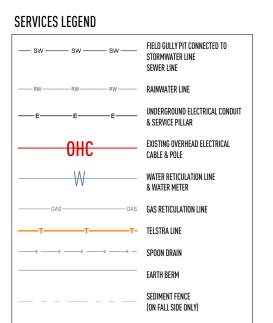
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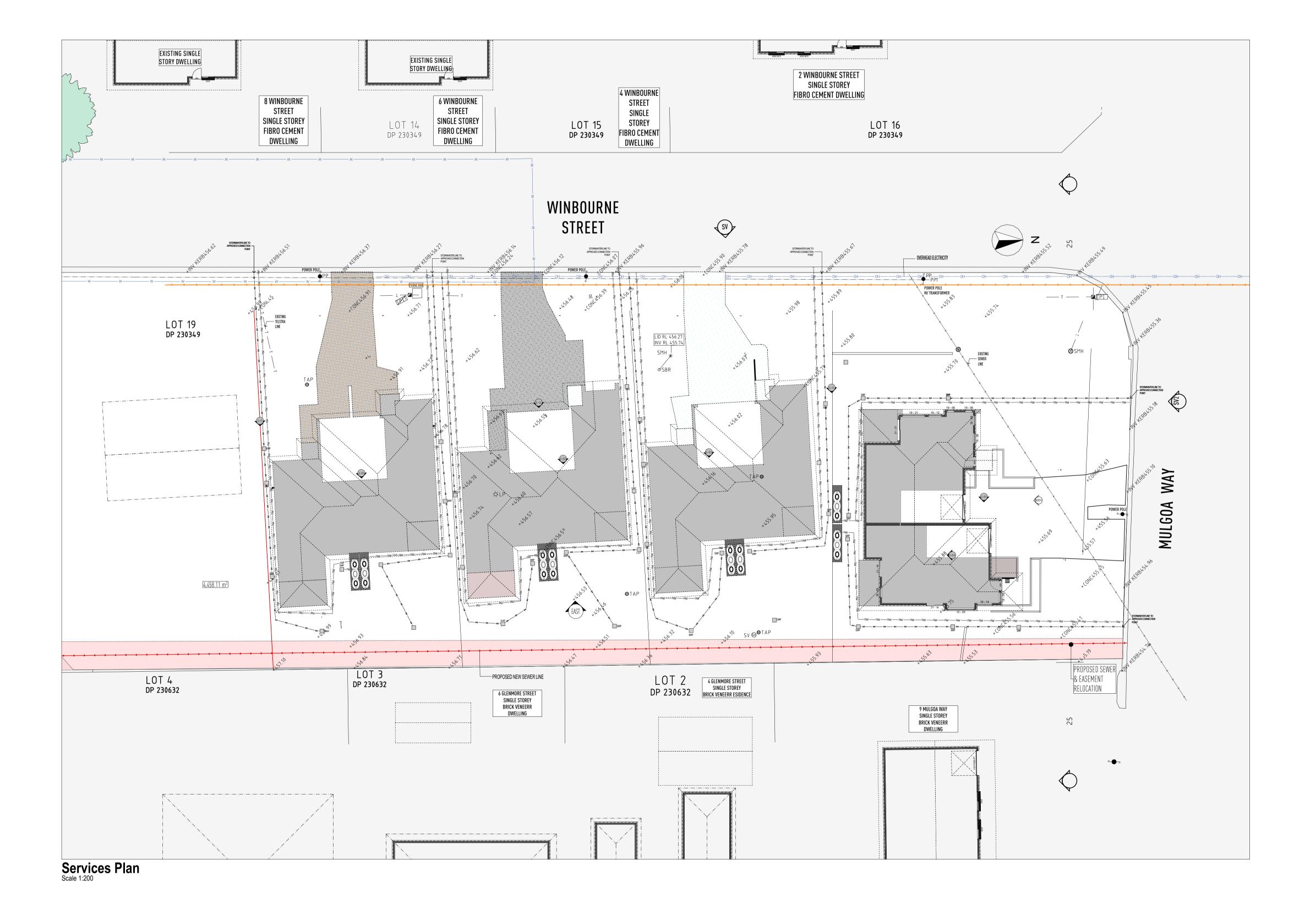
LANDSCAPE CONSULTANT

OUTSCAPE LANDSCAPE DESIGN

as shown







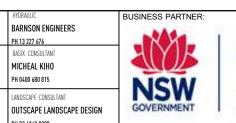


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HOUSING PLUS & JAMES BURNS ARCHITECTURE PH (02) 0427 657 220

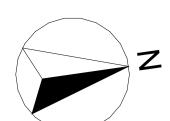
PROJECT MANAGER

LAND & HOUSING CORPORATION
PH (02) 9354 1880

STRUCTURAL/ CIVIL

BARNSON ENGINEERS
PH 13 227 676









General Notes for Demolition works - Residential (NCC BCA Vol 2 Latest Edition):

'AS 2601-2001 The demolition of Structures'

and working downwards

practicable from the site

demolished has been isolated

telecommunication supplies

demolition works

Traffic Engineer

safe removal and lawful disposal

footpath as required by the Council

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1 WINBOURNE STREET & 6 MULGOA WAY MUDGEE, NSW 2850

BARNSON ENGINEERS **NSW** GOVERNMENT OUTSCAPE LANDSCAPE DESIGN

BASIX CONSULTANT

MICHEAL KIHO

LANDSCAPE CONSULTANT

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HOUSING PLUS & JAMES BURNS ARCHITECTURE

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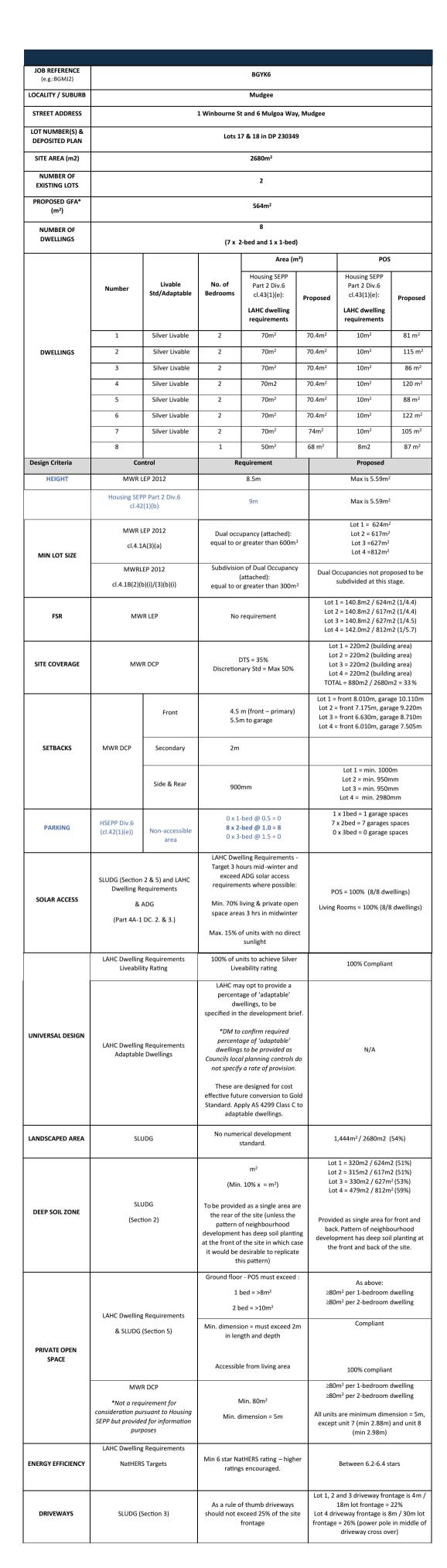
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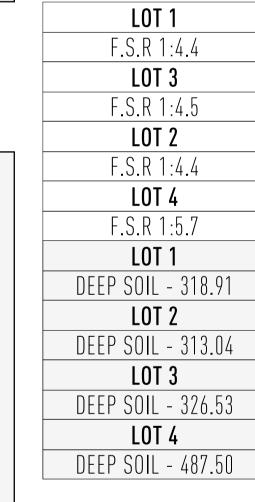
Planning Environment

2/22 AMENDMENTS TO SITE PLAN
12/23 AMENDMENTS TO LANDSCAPING PLAN/TREE'S SUB-DIVISION PLAN

as shown







LEGEND

1 BEDROOM UNIT

2 BEDROOM UNIT

DEEP SOIL ZONE

PRIVATE OPEN SPACE

UNIT 1

P.O.S - 79.38m<sup>2</sup>

UNIT 2

P.O.S -114.12m<sup>2</sup>

UNIT 3

P.O.S - 84.86m<sup>2</sup>

UNIT 4

P.O.S - 120.59m<sup>2</sup>

UNIT 5

P.O.S - 86.68m<sup>2</sup>

UNIT 6

P.O.S - 121.57m<sup>2</sup>

UNIT 7

P.O.S - 104.57m<sup>2</sup>

UNIT 8

P.O.S - 87.10m<sup>2</sup>



HOUSING PLUS & JAMES BURNS ARCHITECTURE

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**Planning** Environment **DEVELOPMENT DATA** 

8 September 2023

1 BEDROOM UNIT

2 BEDROOM UNIT

INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED. ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS.

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

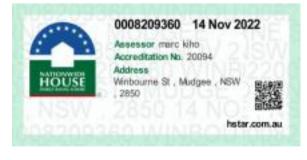
CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY

PROVIDE ABLEFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5 SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY







# PROPERTY DESCRIPTION:

LOT 17 &18 DP WINBOURNE STREET & MULGOA WAY MID WESTERN COUNCIL SITE AREA - 2,680m<sup>2</sup> SITE COVERAGE - 33%



HOUSING PLUS & JAMES BURNS ARCHITECTURE

LAND & HOUSING CORPORATION

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PROJECT MANAGER

PH (02) 9354 1880

STRUCTURAL/ CIVIL BARNSON ENGINEERS

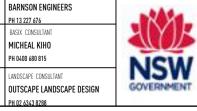


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1 WINBOURNE STREET & 6 MULGOA WAY MUDGEE, NSW 2850



**Planning** Environment PROPOSED SITE PLAN

Existing level - Refer also to survey RL 9.100 Proposed levels - Refer also to drainage drawing 12/22 AMENDMENTS TO LANDSCAPING PLAN/TREE'S as shown

Site Legend

Footpath , Driveway and Car Park area

Existing trees to remain - Refer also to Arborist report

Stormwater pit - Refer also to drainage drawing

Proposed 2 bed dwelling

Proposed Replenishment Tree

Landscape area

**Crushed Granite** 

Existing trees to be removed
Refer also to Arborist report

Extent of site boundary



NUMBERS TO BE CONFIRMED

8 September 2023



# TREE SCHEDULE

	TPZ*			TPZ*
Tree	SRZ	Tree		SRZ
	(m)			(m)
1	10.56		 17	4.56
1	3.25		Ι/	2.25
2	9.48	,	18	4.68
2	3.12	•	10	2.25
3	4.44	19		2.52
5	2.67		19	1.50
4	7.92	20		5.52
4	3.09	4	20	2.49
5	5.16		21	4.08
)	2.49		<b>Z</b>	2.37
6	3.00	22		2.88
U	2.00	4		2.15
7	2.52	<del>-</del>		
/				

1.85

3.24

2.52

1.88

4.08

2.37

2.00

1.94

8.50

3.21

8.76

3.22

4.56

2.31

8.52

2.98

2.00

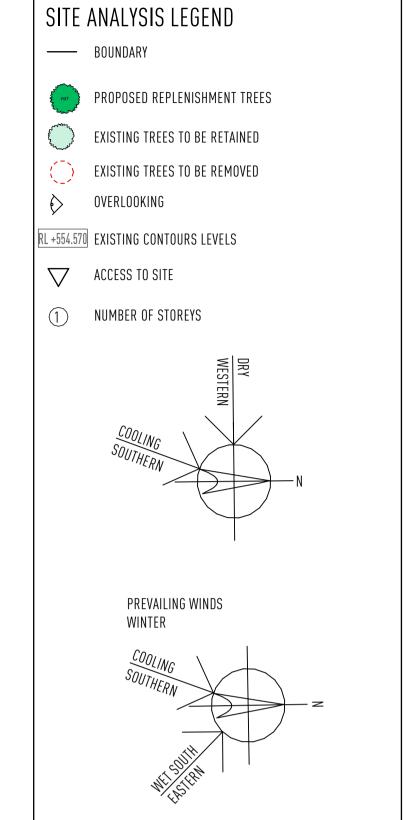
1.75

11

12

13







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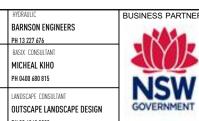
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-\*HULDING P

OTHERS.
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S, COLOURS,

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MUDGEE, NSW 2850



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Planning & Environment

A 18/11/22 AMENDMENTS TO FLOOR PLANS
B 10/12/22 AMENDMENTS TO SITE PLAN
C 28/02/23 AMENDMENTS TO LANDSCAPING PLAN/TREE'S
D 20/04/23 AMENDMENTS TO TREES REMOVED/RETAINED

APPROVAL

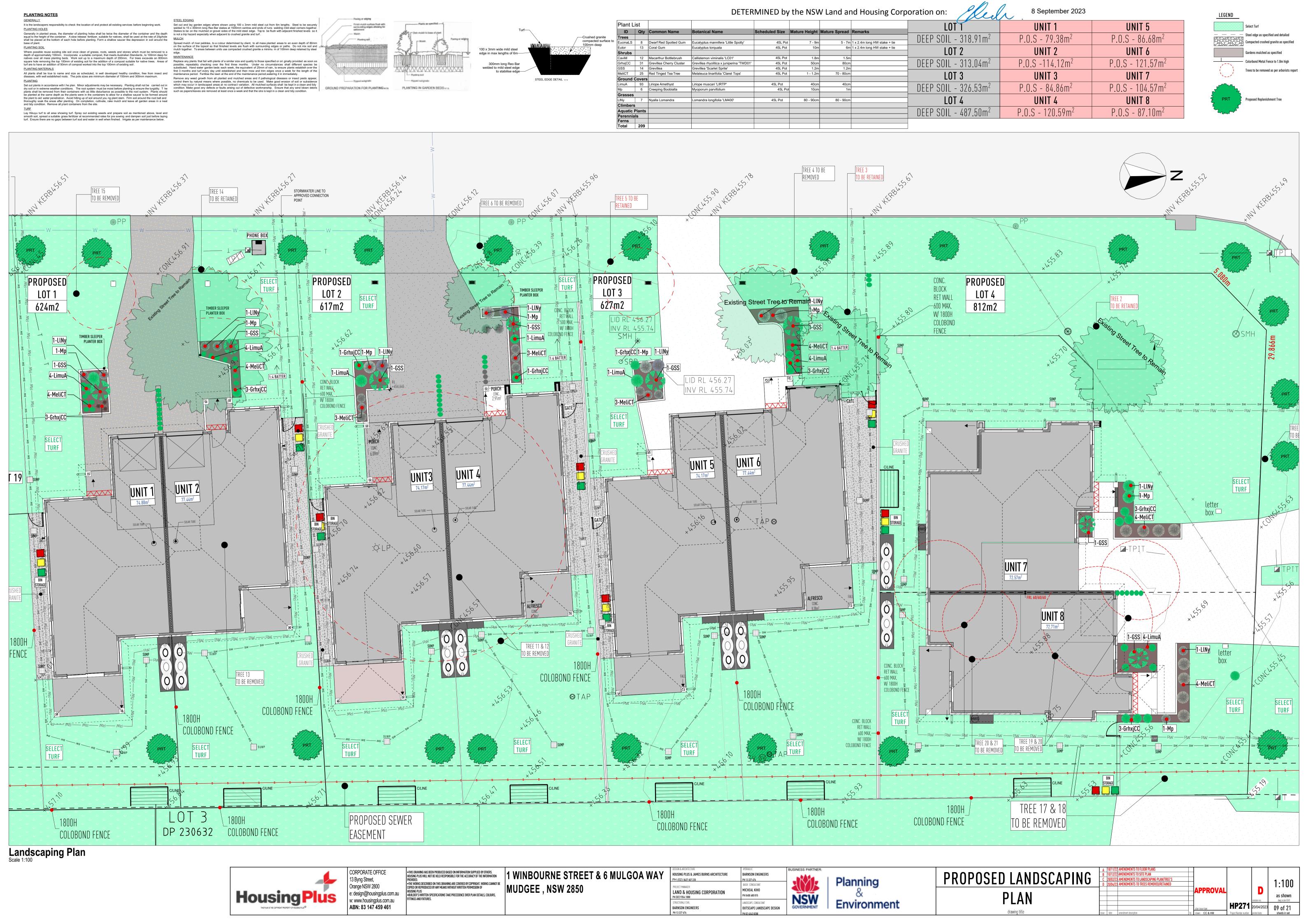
APPROVAL

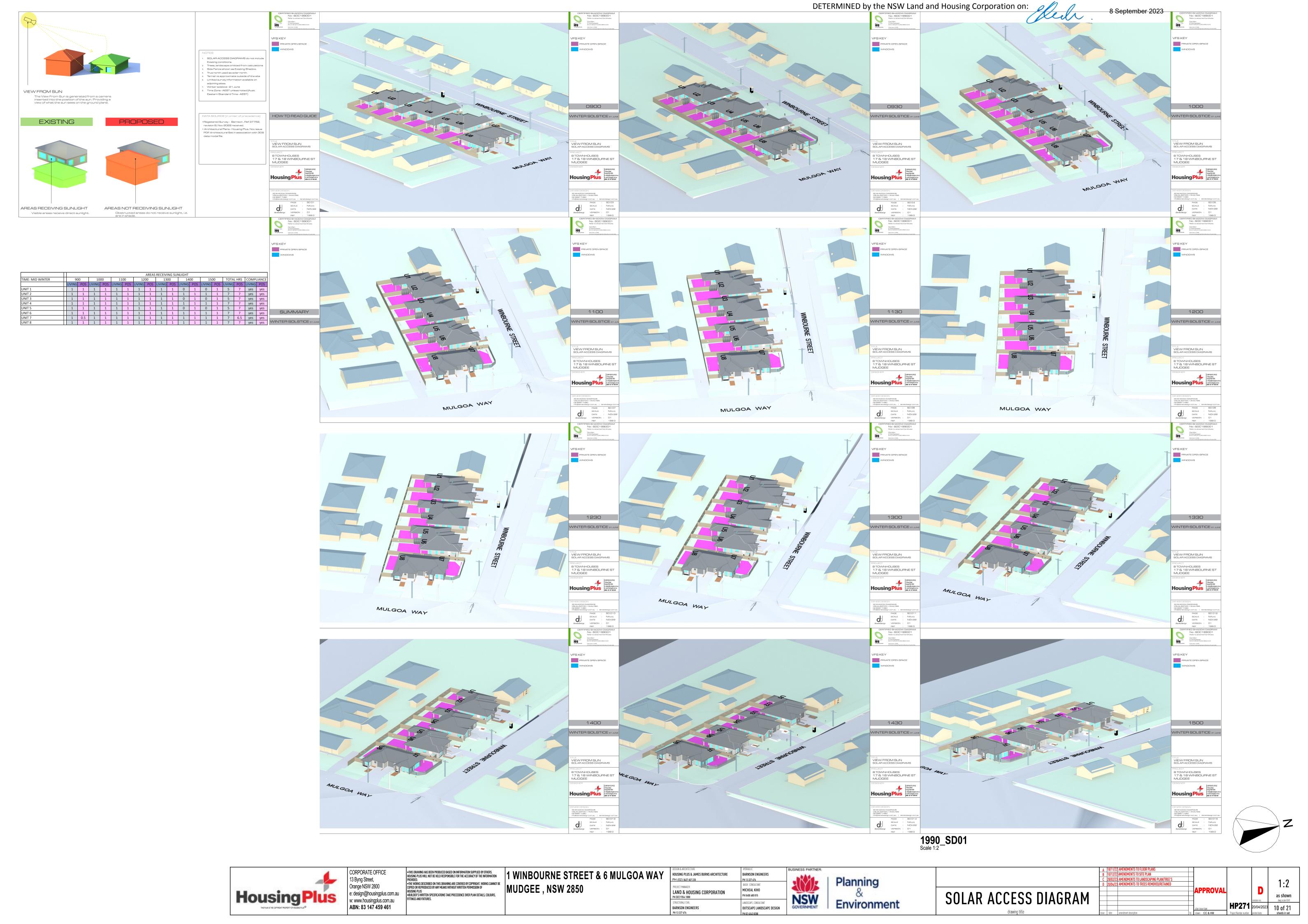
APPROVAL

APPROVAL

APPROVAL

APPROVAL

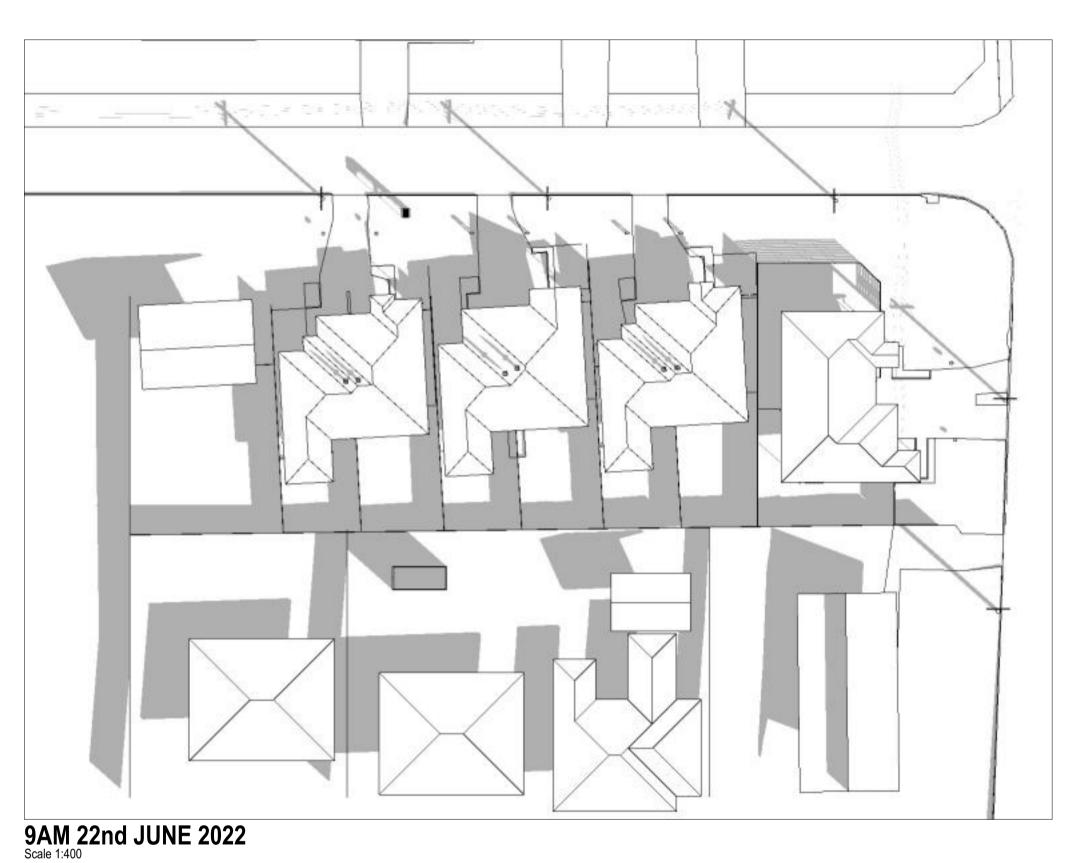


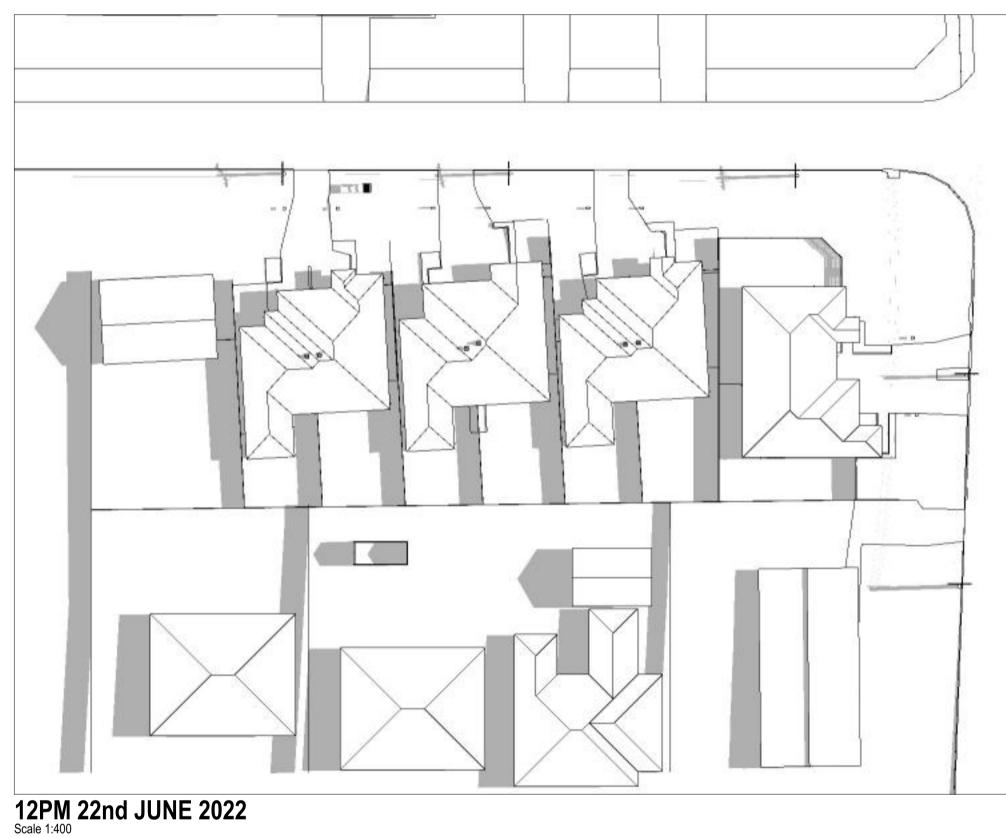


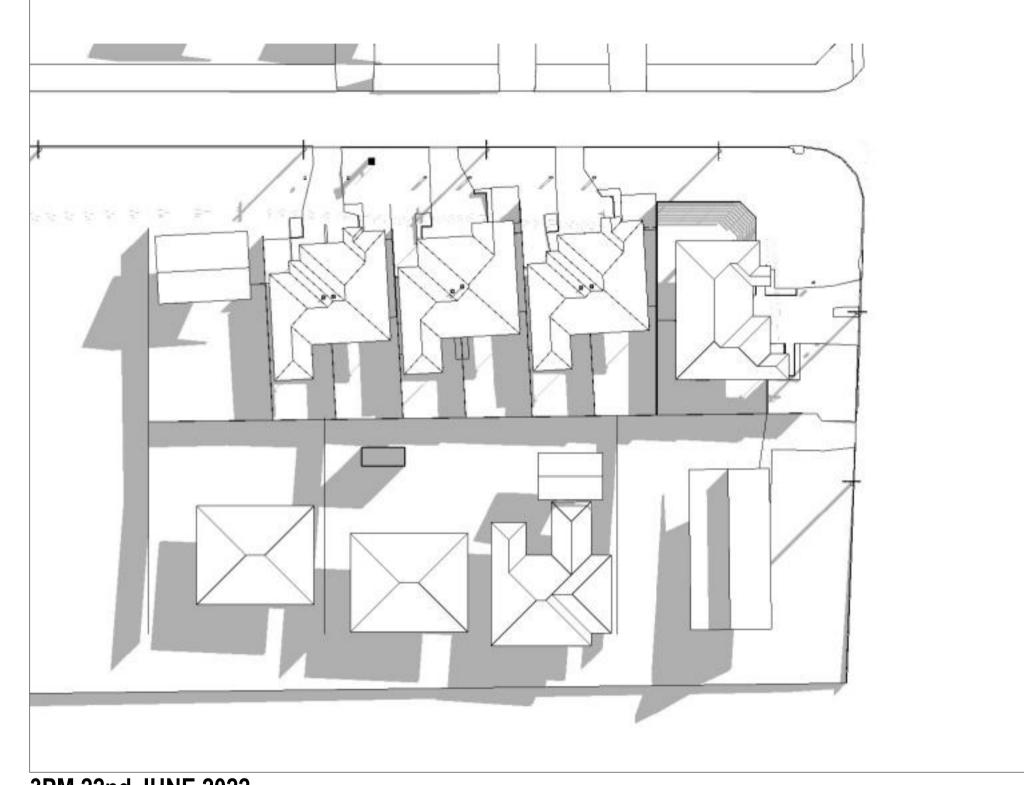








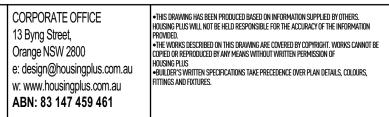




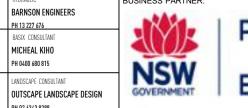
**3PM 22nd JUNE 2022** Scale 1:400

# SHADOW DIAGRAMS **JUNE 22ND 2022**



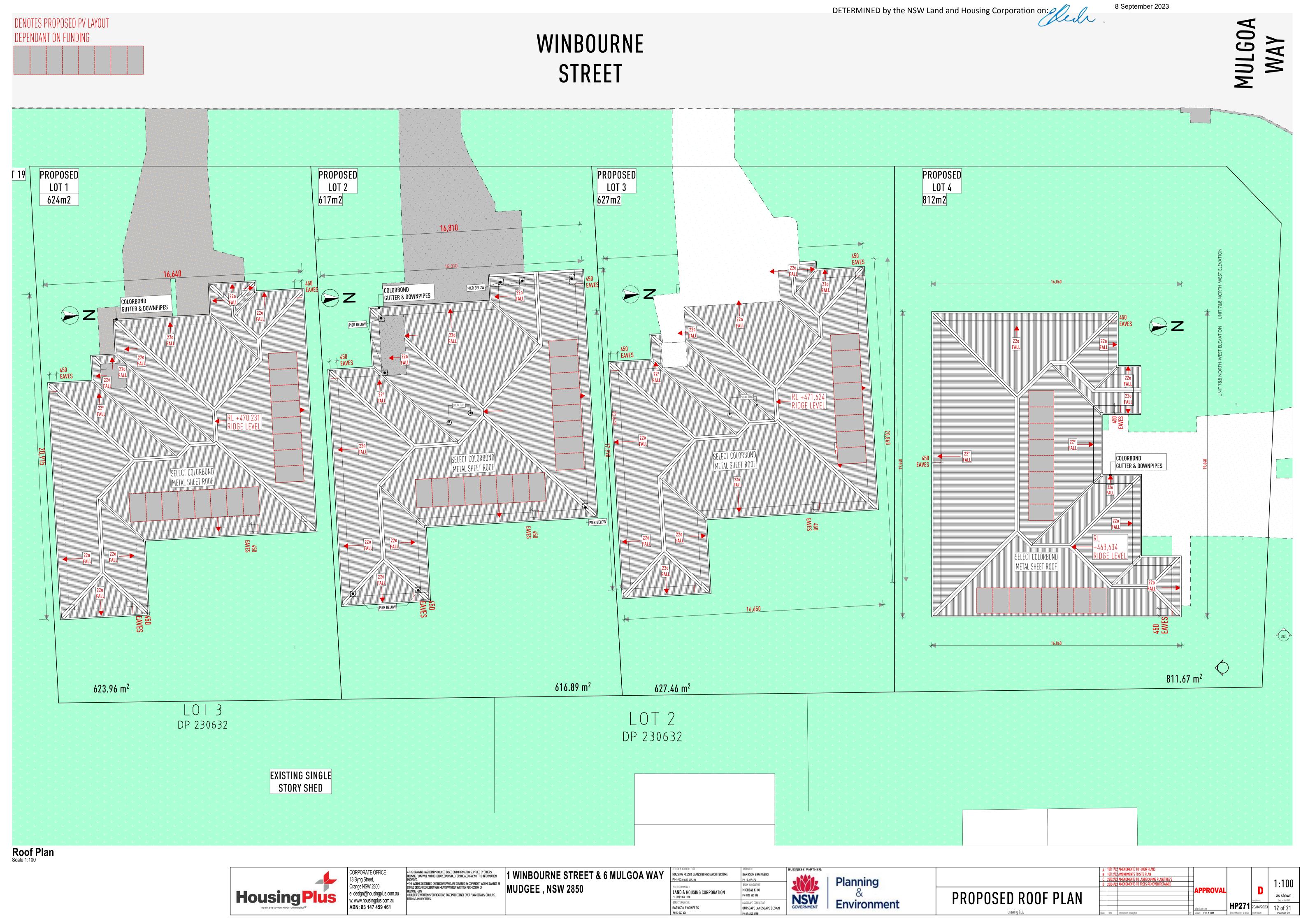


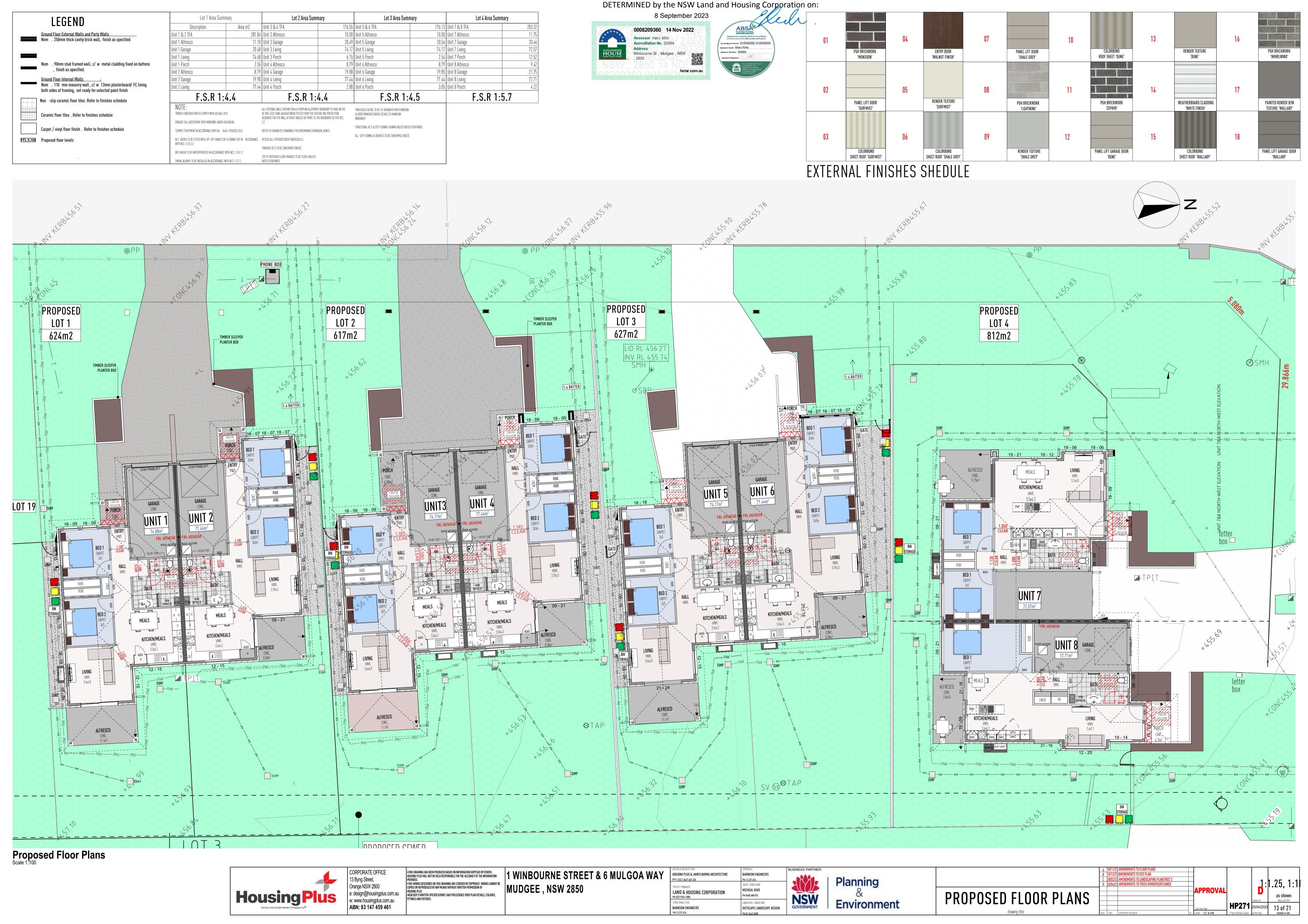


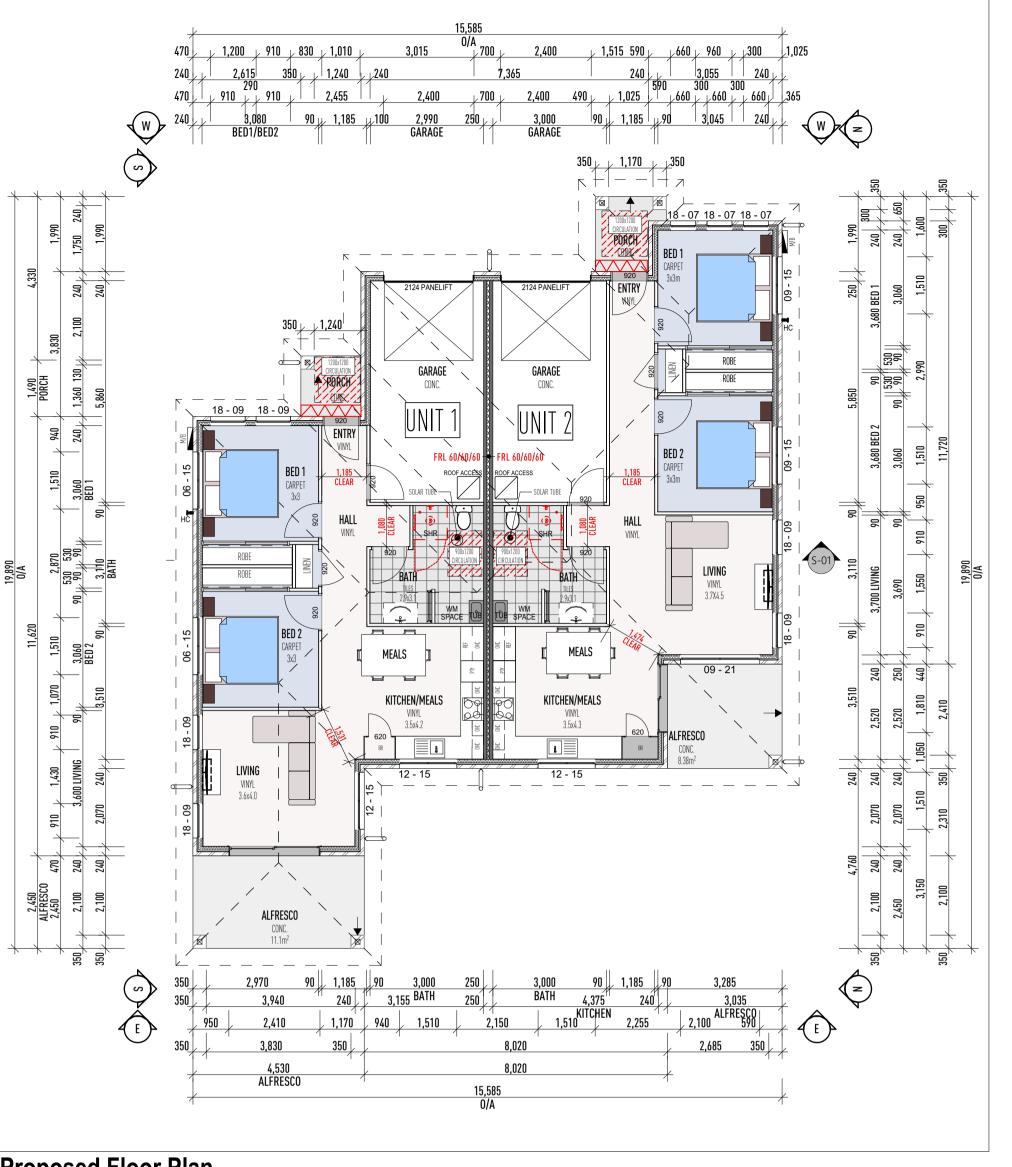


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MICHEAL KIHO
PH 0400 680 815









16,640 COLORBOND **GUTTER & DOWNPIPES** SELECT COLORBOND METAL SHEET ROOF 450 EAVES

Proposed Floor Plan
Scale 1:100

**Dwelling Access** 

a. Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling.

This provision does not apply where the average slope of the ground where the path would feature is steeper than 1:14.

b. The path of travel referred to in (a) should have a minimum clear width of 1000mm and have:

an even, firm, slip resistant surface; iii. a crossfall of not more than 1:40; iv. a maximum pathway slope of 1:14

c. The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as the safe and continuous pathway to the dwelling entrance, the space should incorporate:

minimum dimensions of at least 3200mm (width) x 5400mm ii. an even, firm and slip resistant surface; and
iii. a level surface (1:40 maximum gradient, 1:33 maximum

gradient for bitumen) Dwelling entrance

a. The dwelling should provide an entrance door with a minimum clear opening width of 820mm. ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and

b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door. c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided.

d. The level (step-free) entrance should be connected to the safe and continuous pathway as specfied in Element 1. Internal doors & corridors

- Doorways to rooms on the entry level used for living, dining,

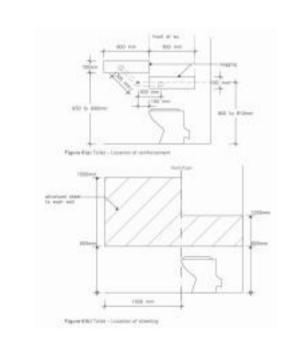
reasonable shelter from the weather.

bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide: - a minimum clear opening width of 820mm and a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled) - Internal corridors/passageways to the doorways should provide a minimum clear width of 1000mm \* Corridor widths should be measured as described in Clause 6.3 of AS 1428.1 – 2009

- A minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door as shown on plan Reinforce wall around the toilet as shown in Figure 6

Provide non-slip hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date. Reinforce walls around the shower as shown in Figure 8

For hobless speciication see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in



# Reinforcement of bathroom & toilet walls

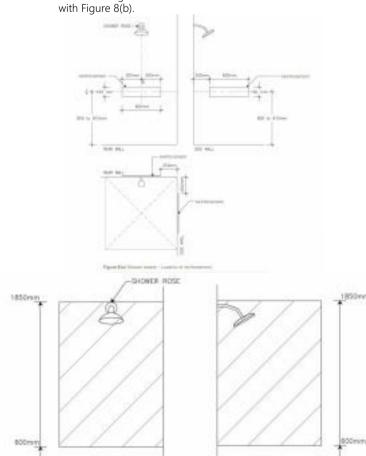
a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.

b. The walls around the toilet are to be reinforced by installing: noggings with a thickness of at least 25mm in accordance with Figure 6(a); or ii. sheeting with a thickness of at least 12mm in accordance

with Figure 6(b) The walls around the bath are to be reinforced by installing: noggings with a thickness of at least 25mm in accordance with Figure 7(a); or

sheeting with a thickness of at least 12mm in accordance with Figure 7(b). The walls around the hobless shower recess are to be reinforced

by installing: i. noggings with a thickness of at least 25mm in accordance with Figure 8(a); or ii. sheeting with a thickness of at least 12mm in accordance



TIMBER CONSTRUCTION TO COMPLY WITH AS1684-2010

**Roof Plan** 

ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD

TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 REVISED 2014

W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC. F3.8.3.3

WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC. F3.8.1.2

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC. F.3.7.2

ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRI OF NOT LESS THAN 60/60/60 WHEN TESTED FROM THE OUTSIDE (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC

REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS

RECESS ALL EXTERIOR DOOR TRACKS/SILLS

FINISHED RL'S TO BE CONFIRMED ONSITE.

TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

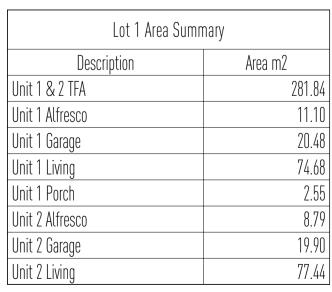
THRESHOLD DETAIL TO BE CO-ORDINATED WITH WINDOW & DOOR MANUFACTURERS DETAILS TO MAINTAIN WARRANTY.

STRUCTURAL RL'S & STEP-DOWNS SHOWN UNLESS NOTED OTHERWISE

ALL STEP-DOWNS & REBATES TO BE CONFIRMED ONSITE.

# FINISHES LEGEND

PGH BRICKWORK 'MONSON'







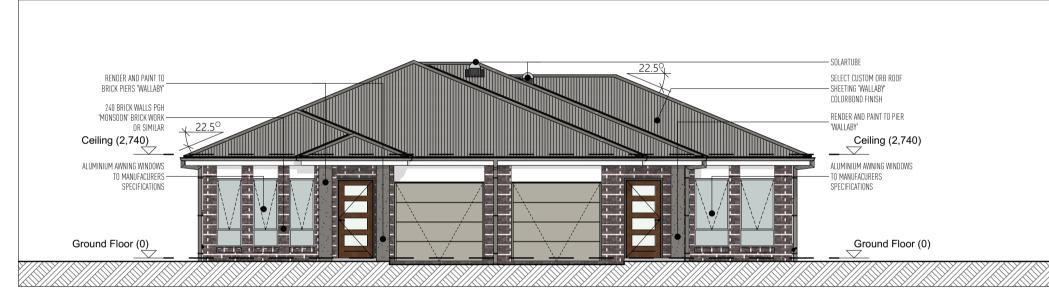
# **NORTH ELEVATION**



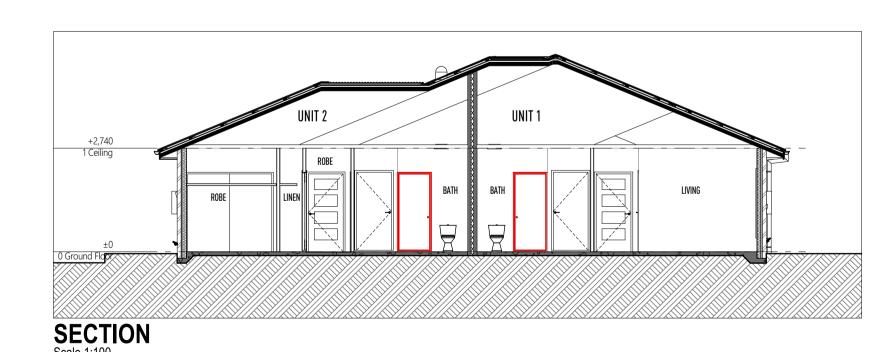
# **SOUTH ELEVATION**



# **EAST ELEVATION**



# **WEST ELEVATION**



# NOT FOR CONSTRUCTION



ABSA  Indicator, Mariner  Indicator, Mariner		/	4.5	- W	
service Marc Kino	1	=	AB	SA	-
anner Space	-	medical re-	Marc K	ho	084023
	1		8		- /

CAVITY SLIDING DOOR DOWN PIPE DISHWASHER SPACE FIBRE CEMENT FULL HEIGHT TILING FACE OF WALL SLIDING DOOR REPLACEABLE GAS CYLINDERS FILED HOB 150mm ABOVE BATH HUME SMARTROBE DOOR SYSTEM LINE OF BULKHEAD LIFT OFF HINGES MANHOLE ROOF ACCESS METAL HEAD FLASHING MIRROR SLIDING DOOR 1/2 MIRROR & 1/2 VINYL S/DOOR SPACE FOR MICROWAVE OVEN NATIONAL BROADBAND NETWORK OBSCURF GLASS OVERHEAD CUPBOARDS ROBE HOOK WARDROBF RANGE HOOD REFRIGERATOR SPACE RECT. HOLLOW SECT. STEEL POST SLIDING GLASS DOOR SQ. HOLLOW SECTION STEEL POST DOOR GLASS SIDE LIGHT LAUNDRY TUR UNDER BENCH OVEN BATHROOM VANITY UNIT VINYL SLIDING DOOR WALL OVEN TOILET PAN (WATER CLOSET) WASHING MACHINE SPACE WALK-IN LINEN CLOSET WALK-IN ROBE GLASS SLIDING (X), GLASS FIXED (O) DENOTES WIRED SMOKE DETECTOR

ABBREVIATIONS

AUSTRALIAN HEIGHT DATUM

BREAKFAST BAR OVERHANG

STEEL COLUMN TO ENG'S DETAIL

BEAM TO ENG'S DETAIL

BROOM CUPBOARD

CLOTHES DRYER

CFILING HEIGHT



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Figure B(b) Shower recess - Location of sheeting

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1 WINBOURNE STREET & 6 MULGOA WAY PH (02) 0427 657 220 MUDGEE, NSW 2850 PH (02) 9354 1880

HOUSING PLUS & JAMES BURNS ARCHITECTURE BARNSON ENGINEERS BASIX CONSULTANT MICHEAL KIHO LAND & HOUSING CORPORATION PH 0400 680 815 LANDSCAPE CONSULTANT BARNSON ENGINEERS OUTSCAPE LANDSCAPE DESIGN

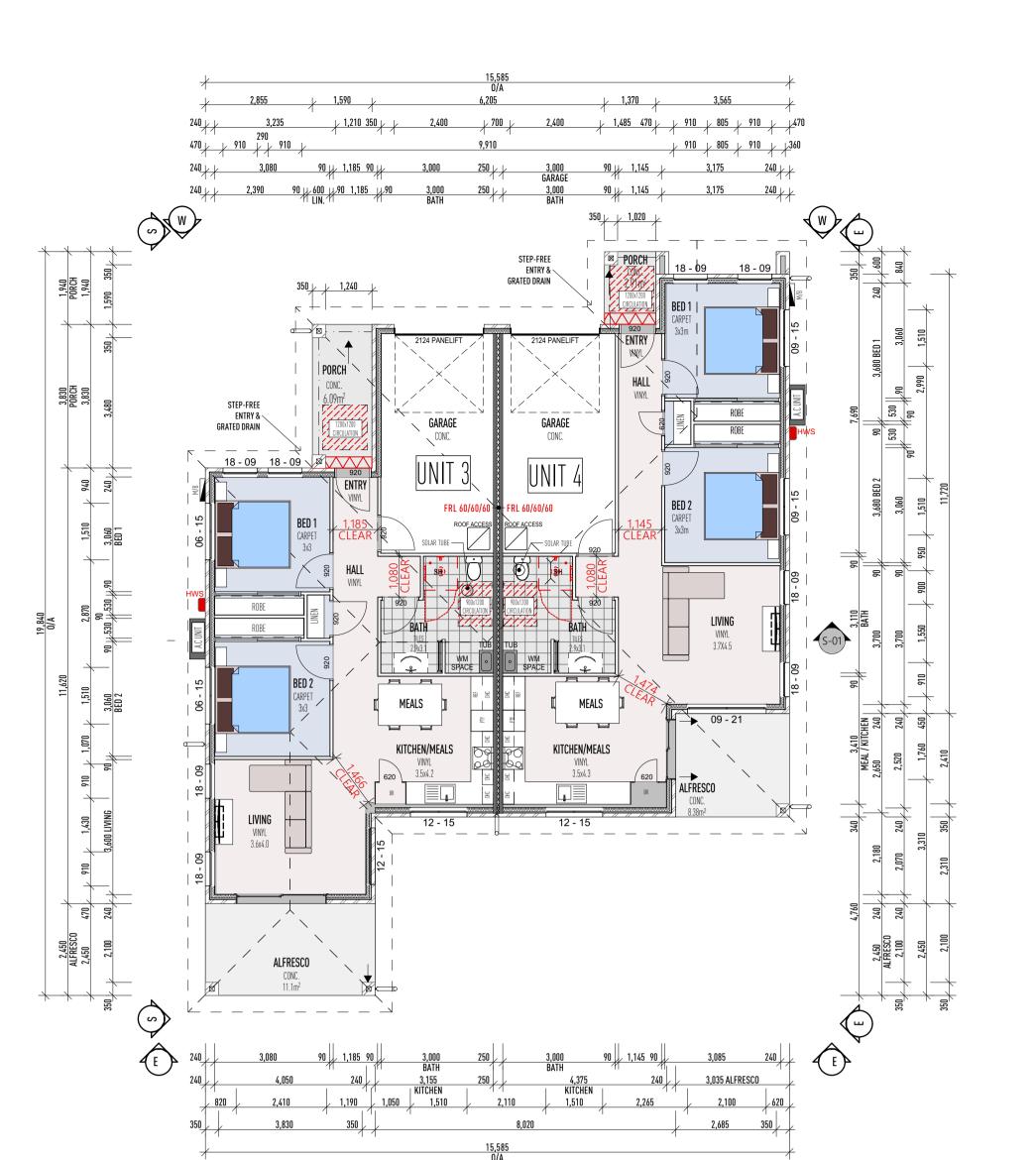
Planning **NSW** 

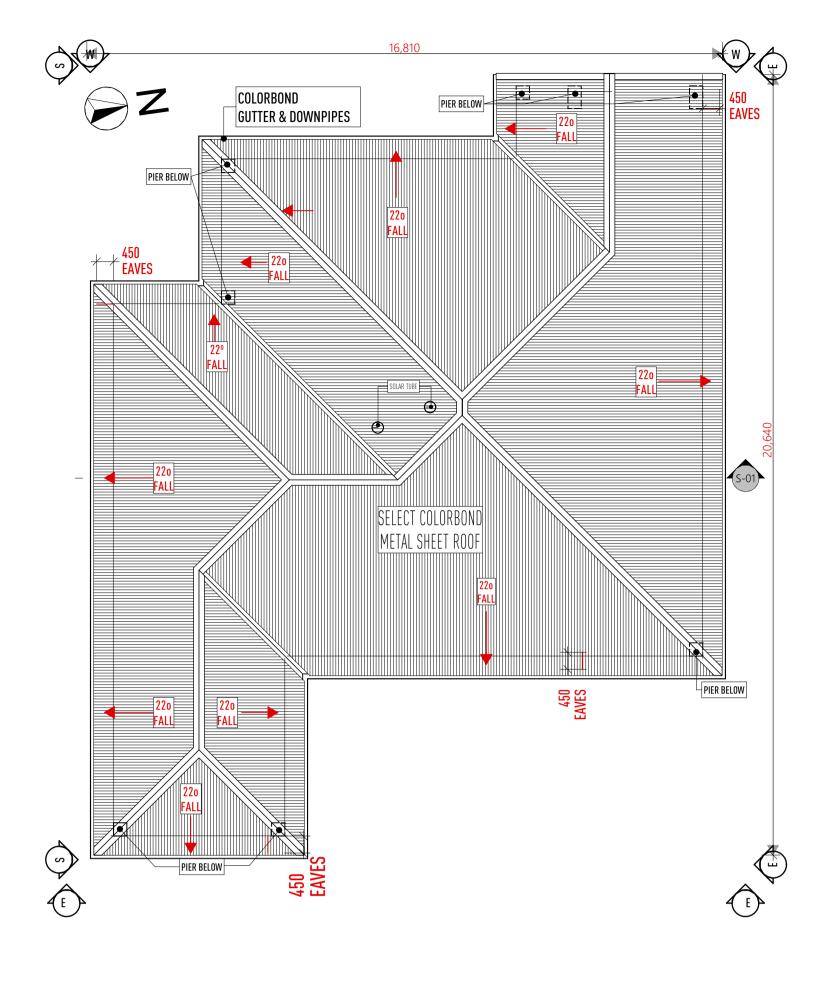
Environment

/23 AMENDMENTS TO LANDSCAPING PLAN/TREE UNITS 1 & 2 LAYOUT

HP271 20/04/2023 14 of 21

as shown





# **Ground Floor**

**Dwelling Access** 

a. Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling.

This provision does not apply where the average slope of the ground where the path would feature is steeper than 1:14.

b. The path of travel referred to in (a) should have a minimum clear width of 1000mm and have:

an even, firm, slip resistant surface; iii. a crossfall of not more than 1:40;

iv. a maximum pathway slope of 1:14 c. The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as the safe and continuous pathway to the dwelling entrance, the space should incorporate:

minimum dimensions of at least 3200mm (width) x 5400mm

ii. an even, firm and slip resistant surface; and iii. a level surface (1:40 maximum gradient, 1:33 maximum

gradient for bitumen) Dwelling entrance

a. The dwelling should provide an entrance door with a minimum clear opening width of 820mm. ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and iii. reasonable shelter from the weather.

b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door. c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided. d. The level (step-free) entrance should be connected to the safe and continuous pathway as specfied in Element 1.

Internal doors & corridors - Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:

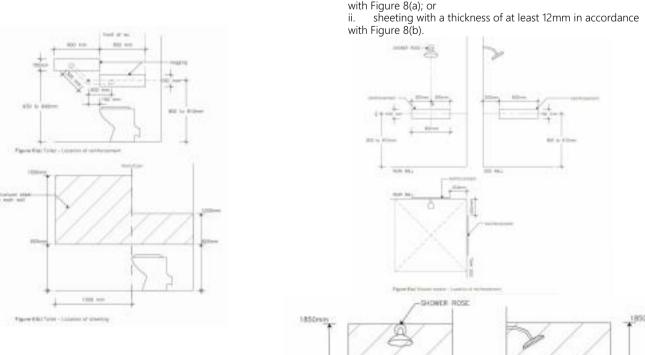
- a minimum clear opening width of 820mm and a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled). - Internal corridors/passageways to the doorways should provide a minimum clear width of 1000mm \* Corridor widths should be measured as described in Clause 6.3 of AS 1428.1 – 2009

# **Roof Plan**

- A minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door as shown on plan Reinforce wall around the toilet as shown in Figure 6

- Provide non-slip hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date. - Reinforce walls around the shower as shown in Figure 8

For hobless speciication see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in



Reinforcement of bathroom & toilet walls

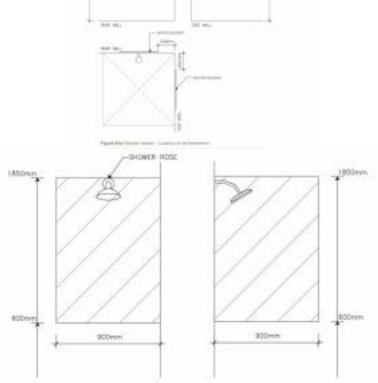
a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails. The walls around the toilet are to be reinforced by installing: noggings with a thickness of at least 25mm in accordance

with Figure 6(a); or

ii. sheeting with a thickness of at least 12mm in accordance with Figure 6(b) The walls around the bath are to be reinforced by installing:

noggings with a thickness of at least 25mm in accordance with Figure 7(a); or sheeting with a thickness of at least 12mm in accordance

with Figure 7(b). The walls around the hobless shower recess are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance



TIMBER CONSTRUCTION TO COMPLY WITH AS1684-2010

ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD

TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 REVISED 2014

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WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC. F3.8.1.2

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REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS

RECESS ALL EXTERIOR DOOR TRACKS/SILLS

FINISHED RL'S TO BE CONFIRMED ONSITE.

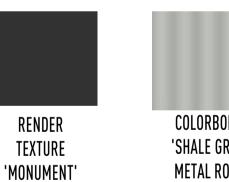
TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

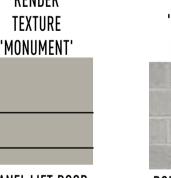
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STRUCTURAL RL'S & STEP-DOWNS SHOWN UNLESS NOTED OTHERWISE

ALL STEP-DOWNS & REBATES TO BE CONFIRMED ONSITE.

# FINISHES LEGEND







PANEL LIFT DOOR 'SHALE GREY'

nmary
176
10
20
74
6
8
19
77
2





'LIGHTNING'

Unit 3 & 4 TFA	176.5
Unit 3 Alfresco	10.0
Unit 3 Garage	20.4
Unit 3 Living	74.1
Unit 3 Porch	6.1
Unit 4 Alfresco	8.7
Unit 4 Garage	19.8
Unit 4 Living	77.4
Unit 4 Porch	2.8

HOUSING PLUS & JAMES BURNS ARCHITECTURE

LAND & HOUSING CORPORATION

PH (02) 0427 657 220

PH (02) 9354 1880

BARNSON ENGINEERS

# SHEETING 'SHALE GREY' -PGH 'LIGHTNING' BRICK RENDER AND PAINT TO WORK OR SIMILAR RENDER AND PAINT TO PIER ALLIMINIUM AWNING WINDOWS 240 BRICK VENEER WALLS SPECIFICATIONS WORK OR SIMILAR Ceiling (2,740) Ceiling (2,740) ALUMINIUM AWNING WINDOWS TO MANUFACURERS -SPECIFICATIONS

# **WEST ELEVATION**



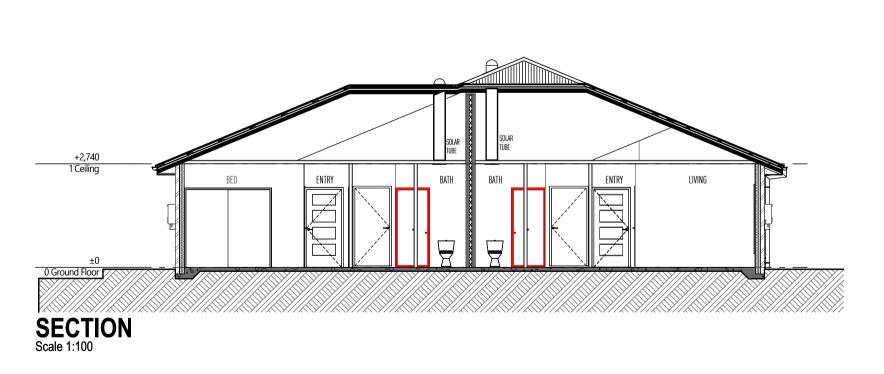
# **NORTH ELEVATION**



# **EAST ELEVATION**



# **SOUTH ELEVATION**



# NOT FOR CONSTRUCTION







WALL OVEN TOILET PAN (WATER CLOSET) WASHING MACHINE SPACE WALK-IN LINEN CLOSET WALK-IN ROBE GLASS SLIDING (X), GLASS FIXED (O) DENOTES WIRED SMOKE DETECTOR **1**:100, 1:0



CORPORATE OFFICE 3 Byng Street, Orange NSW 2800 e: design@housingplus.com.au w: www.housingplus.com.au ABN: 83 147 459 461

Figure B(b) Shower recess - Location of sheeting

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BARNSON ENGINEERS BASIX CONSULTANT MICHEAL KIHO PH 0400 680 815 LANDSCAPE CONSULTANT OUTSCAPE LANDSCAPE DESIGN

Planning

**Environment** 

UNITS 3 & 4 LAYOUT

2/23 AMENDMENTS TO LANDSCAPING PLAN/TREE'

as shown HP271 20/04/2023 15 of 21

AUSTRALIAN HEIGHT DATUM

BREAKFAST BAR OVERHANG

STEEL COLUMN TO ENG'S DETAIL

BEAM TO ENG'S DETAIL

BROOM CUPBOARD

CLOTHES DRYER

CFILING HEIGHT

CAVITY SLIDING DOOR

DISHWASHER SPACE

FULL HEIGHT TILING

LINE OF BULKHEAD

MANHOLE ROOF ACCESS

LIFT OFF HINGES

METAL HEAD FLASHING

OBSCURF GLASS

ROBE HOOK

RANGE HOOD

WARDROBF

OVERHEAD CUPBOARDS

REFRIGERATOR SPACE RECT. HOLLOW SECT. STEEL POST

SLIDING GLASS DOOR

SQ. HOLLOW SECTION STEEL POST

DOOR GLASS SIDE LIGHT

LAUNDRY TUR

UNDER BENCH OVEN

BATHROOM VANITY UNIT

VINYL SLIDING DOOR

STAINLESS STEEL

MIRROR SLIDING DOOR

1/2 MIRROR & 1/2 VINYL S/DOOR

SPACE FOR MICROWAVE OVEN

NATIONAL BROADBAND NETWORK

FACE OF WALL SLIDING DOOR

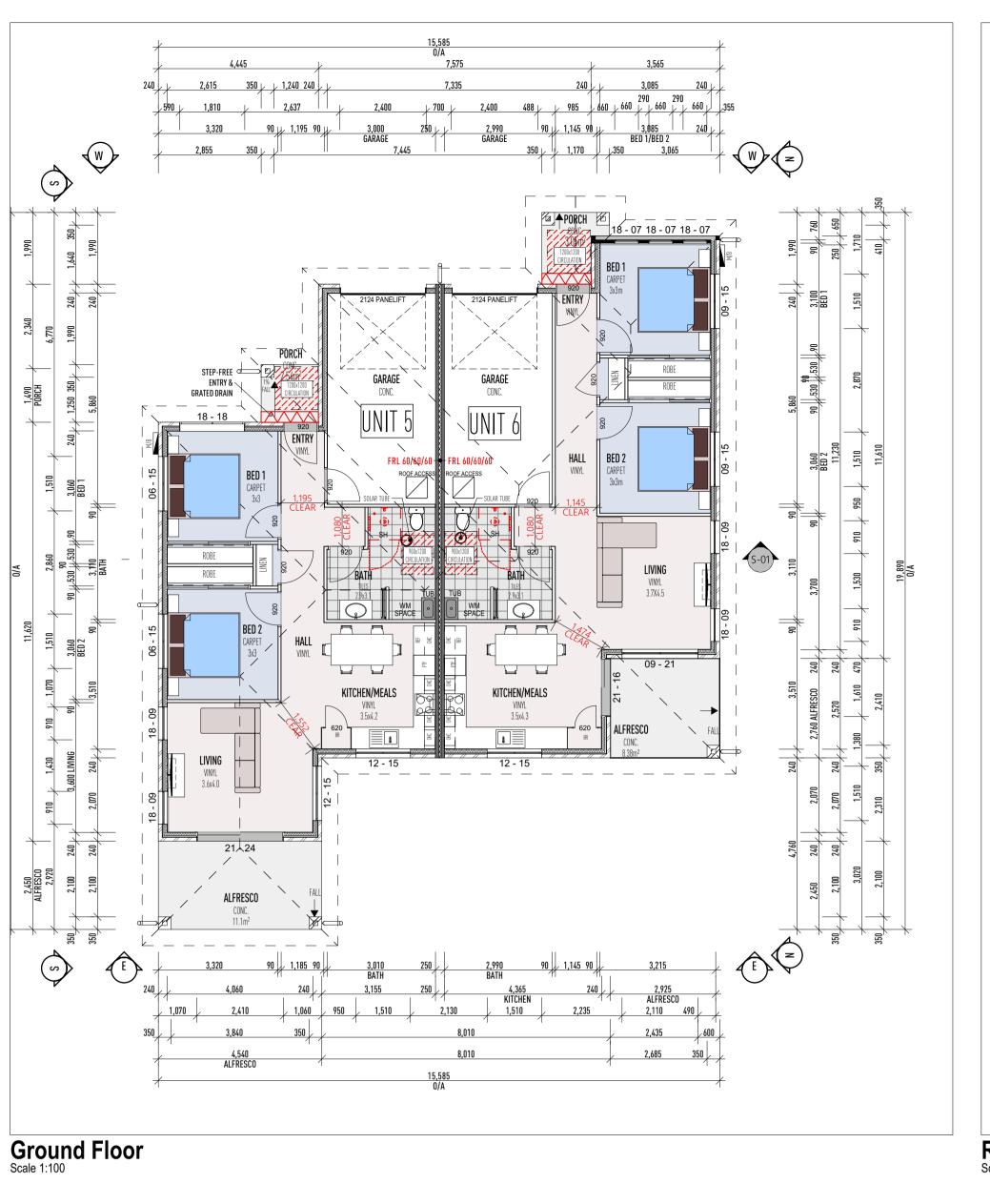
REPLACEABLE GAS CYLINDERS

FILED HOB 150mm ABOVE BATH

HUME SMARTROBE DOOR SYSTEM

FIBRE CEMENT

DOWN PIPE



8 September 2023 COLORBOND **GUTTER & DOWNPIPES** FALL SELECT COLORBOND 450 EAVES **Roof Plan** 

DETERMINED by the NSW Land and Housing Corporation on:

**Dwelling Access** 

a. Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling.

This provision does not apply where the average slope of the ground where the path would feature is steeper than 1:14.

b. The path of travel referred to in (a) should have a minimum clear width of 1000mm and have:

an even, firm, slip resistant surface; iii. a crossfall of not more than 1:40;

iv. a maximum pathway slope of 1:14

c. The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as the safe and continuous pathway to the dwelling entrance, the space should incorporate: minimum dimensions of at least 3200mm (width) x 5400mm

ii. an even, firm and slip resistant surface; and iii. a level surface (1:40 maximum gradient, 1:33 maximum

gradient for bitumen) Dwelling entrance

a. The dwelling should provide an entrance door with a minimum clear opening width of 820mm. ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and iii. reasonable shelter from the weather.

b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door. c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided. d. The level (step-free) entrance should be connected to the safe and continuous pathway as specfied in Element 1.

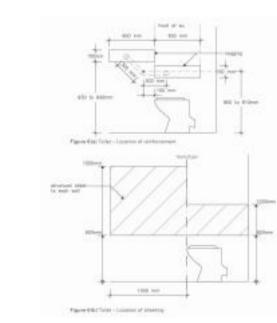
Internal doors & corridors - Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:

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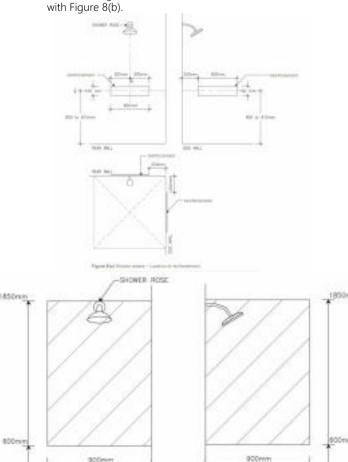
> with Figure 6(a); or ii. sheeting with a thickness of at least 12mm in accordance with Figure 6(b).

The walls around the bath are to be reinforced by installing: noggings with a thickness of at least 25mm in accordance with Figure 7(a); or

noggings with a thickness of at least 25mm in accordance

sheeting with a thickness of at least 12mm in accordance with Figure 7(b). The walls around the hobless shower recess are to be reinforced by installing:

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TIMBER CONSTRUCTION TO COMPLY WITH AS1684-2010

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STRUCTURAL RL'S & STEP-DOWNS SHOWN UNLESS NOTED OTHERWISE

ALL STEP-DOWNS & REBATES TO BE CONFIRMED ONSITE.

# FINISHES LEGEND

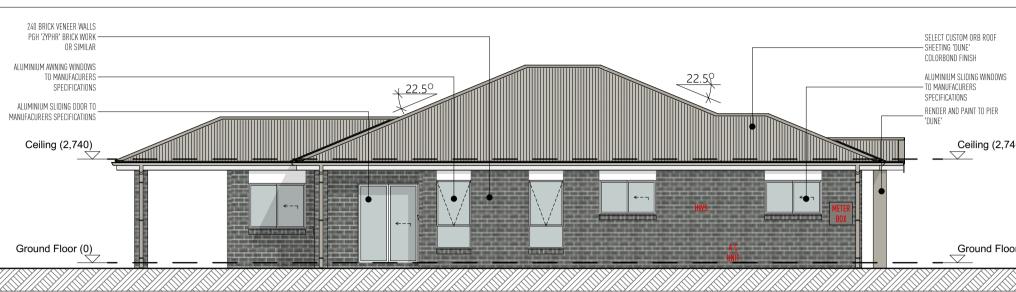


Lot 3 Area Summary					
5 & 6 TFA	176.13				
Alfresco	10.00				
Garage	20.54				
Living	74.17				
5 Porch	2.54				
Alfresco	8.79				
Garage	19.85				
S Living	77.44				

'ZEPHYR'



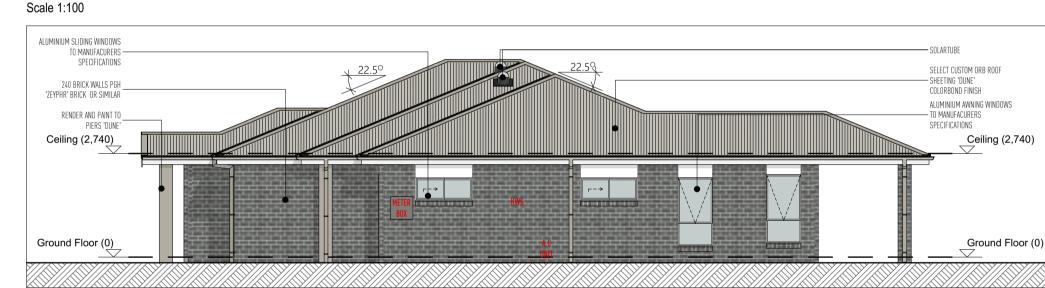
# **WEST ELEVATION**



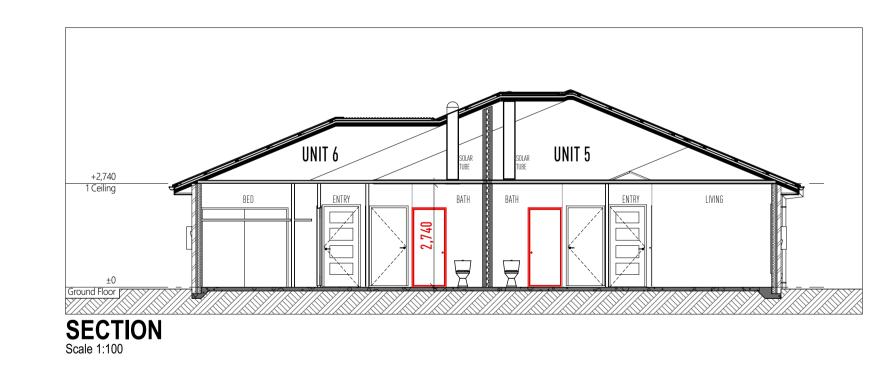
# **NORTH ELEVATION**



# **EAST ELEVATION**



# **SOUTH ELEVATION**



# NOT FOR CONSTRUCTION





### FACE OF WALL SLIDING DOOR GAS CYL REPLACEABLE GAS CYLINDERS FILED HOB 150mm ABOVE BATH HUME SMARTROBE DOOR SYSTEM LINE OF BULKHEAD LIFT OFF HINGES MANHOLE ROOF ACCESS METAL HEAD FLASHING MIRROR SLIDING DOOR 1/2 MIRROR & 1/2 VINYL S/DOOR SPACE FOR MICROWAVE OVEN NATIONAL BROADBAND NETWORK OBSCURF GLASS OVERHEAD CUPBOARDS ROBE HOOK WARDROBF RANGE HOOD REFRIGERATOR SPACE RECT. HOLLOW SECT. STEEL POST SLIDING GLASS DOOR STAINLESS STEEL SHELVES SQ. HOLLOW SECTION STEEL POST DOOR GLASS SIDE LIGHT LAHNDRY THR UNDER BENCH OVEN BATHROOM VANITY UNIT VINYL SLIDING DOOR WALL OVEN TOILET PAN (WATER CLOSET) WASHING MACHINE SPACE WALK-IN LINEN CLOSET WALK-IN ROBE GLASS SLIDING (X), GLASS FIXED (O) DENOTES WIRED SMOKE DETECTOR

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BEAM TO ENG'S DETAIL

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CLOTHES DRYER

CFILING HEIGHT

CAVITY SLIDING DOOR

DISHWASHER SPACE

FIBRE CEMENT FULL HEIGHT TILING

DOWN PIPE



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Figure B(b) Shower recess - Location of sheeting

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HOUSING PLUS & JAMES BURNS ARCHITECTURE BARNSON ENGINEERS PH (02) 0427 657 220 BASIX CONSULTANT MICHEAL KIHO LAND & HOUSING CORPORATION PH 0400 680 815 PH (02) 9354 1880 LANDSCAPE CONSULTANT BARNSON ENGINEERS OUTSCAPE LANDSCAPE DESIGN

Unit 6 Porch

'DUNE'

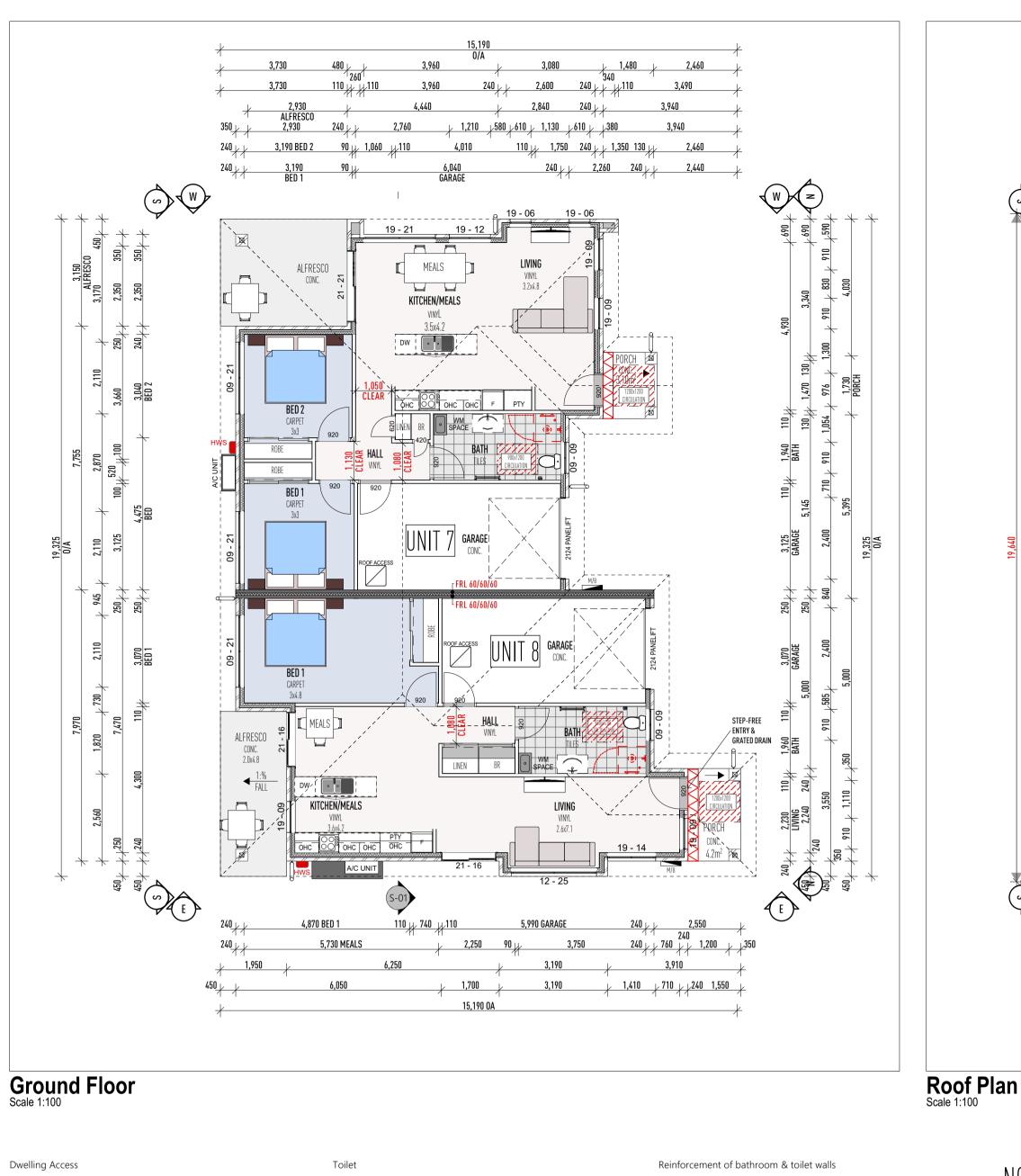


Planning **Environment** 

UNITS 5 & 6 LAYOUT

2/23 AMENDMENTS TO LANDSCAPING PLAN/TREE'S

as shown HP271 20/04/2023 16 of 21



 $(\sim)$ 450 EAVES COLORBOND **GUTTER & DOWNPIPES** METAL SHEET ROOF

DETERMINED by the NSW Land and Housing Corporation on:

8 September 2023

**Dwelling Access** 

Dwelling entrance

a. Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling.

where the path would feature is steeper than 1:14.

b. The path of travel referred to in (a) should have a minimum clear width of 1000mm and have:

This provision does not apply where the average slope of the ground

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c. The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as the safe and continuous pathway to the dwelling entrance, the space should incorporate: i. minimum dimensions of at least 3200mm (width) x 5400mm

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a. The dwelling should provide an entrance door with a minimum clear opening width of 820mm. ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and

iii. reasonable shelter from the weather. b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door. c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided. d. The level (step-free) entrance should be connected to the safe and continuous pathway as specfied in Element 1.

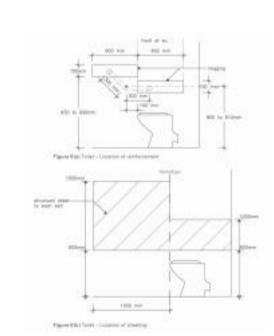
Internal doors & corridors Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide: a minimum clear opening width of 820mm

and a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled). - Internal corridors/passageways to the doorways should provide a minimum clear width of 1000mm. \* Corridor widths should be measured as described of AS 1428.1 – 2009

- A minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door as shown on plan

- Provide non-slip hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date. - Reinforce walls around the shower as shown in Figure 8

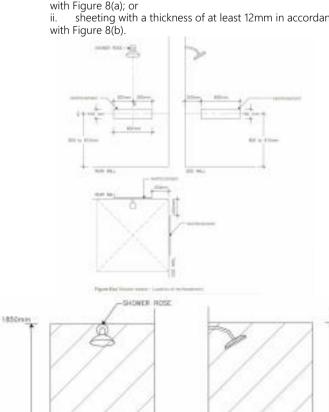
For hobless speciication see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in



Reinforce wall around the toilet as shown in Figure 6

with Figure 6(a); or

with Figure 6(b)



a. Except for walls constructed of solid masonry or concrete, the walls TIMBER CONSTRUCTION TO COMPLY WITH AS1684-2010 around the shower, bath (if provided) and toilet should be reinforced

to provide a fixing surface for the safe installation of grabrails. The walls around the toilet are to be reinforced by installing: noggings with a thickness of at least 25mm in accordance

ii. sheeting with a thickness of at least 12mm in accordance The walls around the bath are to be reinforced by installing:

noggings with a thickness of at least 25mm in accordance with Figure 7(a); or sheeting with a thickness of at least 12mm in accordance with Figure 7(b).

The walls around the hobless shower recess are to be reinforced by installing: i. noggings with a thickness of at least 25mm in accordance ii. sheeting with a thickness of at least 12mm in accordance

ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD

TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 REVISED 2014

W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC. F3.8.3.3

WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC. F3.8.1.2

SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC. F.3.7.2

ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRL OF NOT LESS THAN 60/60/60 WHEN TESTED FROM THE OUTSIDE (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC

REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS

RECESS ALL EXTERIOR DOOR TRACKS/SILLS

FINISHED RL'S TO BE CONFIRMED ONSITE.

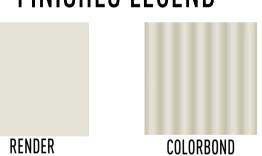
TOP OF INTERIOR FLOOR FINISHES TO BE FLUSH UNLESS NOTED OTHERWISE.

THRESHOLD DETAIL TO BE CO-ORDINATED WITH WINDOW & DOOR MANUFACTURERS DETAILS TO MAINTAIN WARRANTY.

STRUCTURAL RL'S & STEP-DOWNS SHOWN UNLESS NOTED OTHERWISE

ALL STEP-DOWNS & REBATES TO BE CONFIRMED ONSITE.

# FINISHES LEGEND



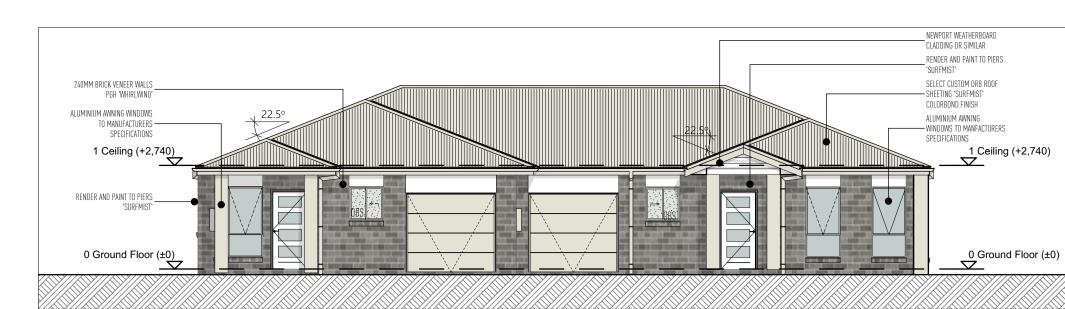
TEXTURE 'SURFMIST

'SURFMIST METAL ROOF

PANEL LIFT DOOR 'SURFMIST'

PGH BRICKWORK 'WHIRLWIND'

Lot 4 Area Sı	ımmary
Unit 7 & 8 TFA	283.3
Unit 7 Alfresco	11.7
Unit 7 Garage	20.4
Unit 7 Living	72.5
Unit 7 Porch	12.5
Unit 8 Alfresco	9.4
Unit 8 Garage	21.7
Unit 8 Living	72.7
Unit 8 Porch	4.2



# **NORTH ELEVATION**



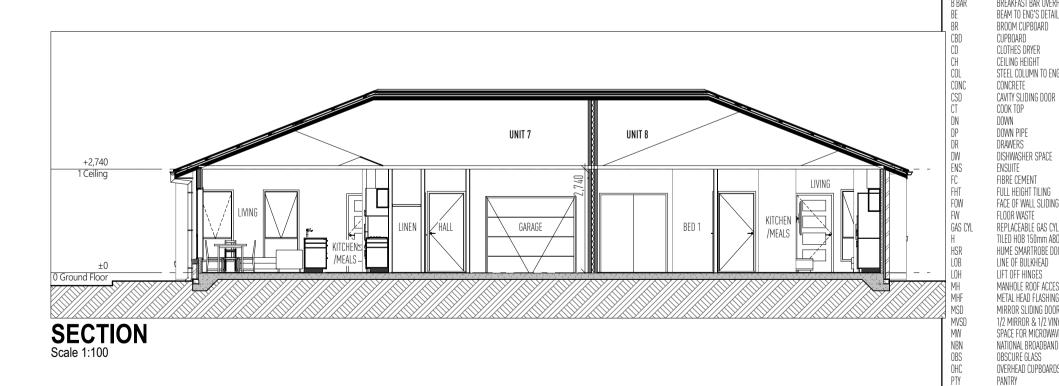
# **EAST ELEVATION**



# **SOUTH ELEVATION**



# **WEST ELEVATION**



# NOT FOR CONSTRUCTION





# SLIDING GLASS DOOR STAINLESS STEEL SQ. HOLLOW SECTION STEEL POST DOOR GLASS SIDE LIGHT LAUNDRY TUR UNDER BENCH OVEN BATHROOM VANITY UNIT VINYL SLIDING DOOR WALL OVEN TOILET PAN (WATER CLOSET) WASHING MACHINE SPACE WALK-IN LINEN CLOSET WALK-IN ROBE

AUSTRALIAN HEIGHT DATUM

BREAKFAST BAR OVERHANG

CEILING HEIGHT STEEL COLUMN TO ENG'S DETAIL

BATH (AS SPECIFIED)

BEAM TO ENG'S DETAIL

BROOM CUPBOARD

CUPBOARD CLOTHES DRYER

DISHWASHER SPACE

FIBRE CEMENT FULL HEIGHT TILING

FACE OF WALL SLIDING DOOR

REPLACEABLE GAS CYLINDERS

LINE OF BULKHEAD

MANHOLE ROOF ACCESS

LIFT OFF HINGES

METAL HEAD FLASHING

OBSCURF GLASS

ROBE HOOK

RANGE HOOD

WARDROBF

OVERHEAD CUPBOARDS

REFRIGERATOR SPACE RECT. HOLLOW SECT. STEEL POST

MIRROR SLIDING DOOR

1/2 MIRROR & 1/2 VINYL S/DOOR

SPACE FOR MICROWAVE OVEN

NATIONAL BROADBAND NETWORK

TILED HOB 150mm ABOVE BATH

HUME SMARTROBE DOOR SYSTEM

GLASS SLIDING (X), GLASS FIXED (O) DENOTES WIRED SMOKE DETECTOR as shown



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Figure B(b) Shower recess - Location of sheeting

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HOUSING PLUS & JAMES BURNS ARCHITECTURE BARNSON ENGINEERS BASIX CONSULTANT MICHEAL KIHO LAND & HOUSING CORPORATION PH 0400 680 815 LANDSCAPE CONSULTANT OUTSCAPE LANDSCAPE DESIGN

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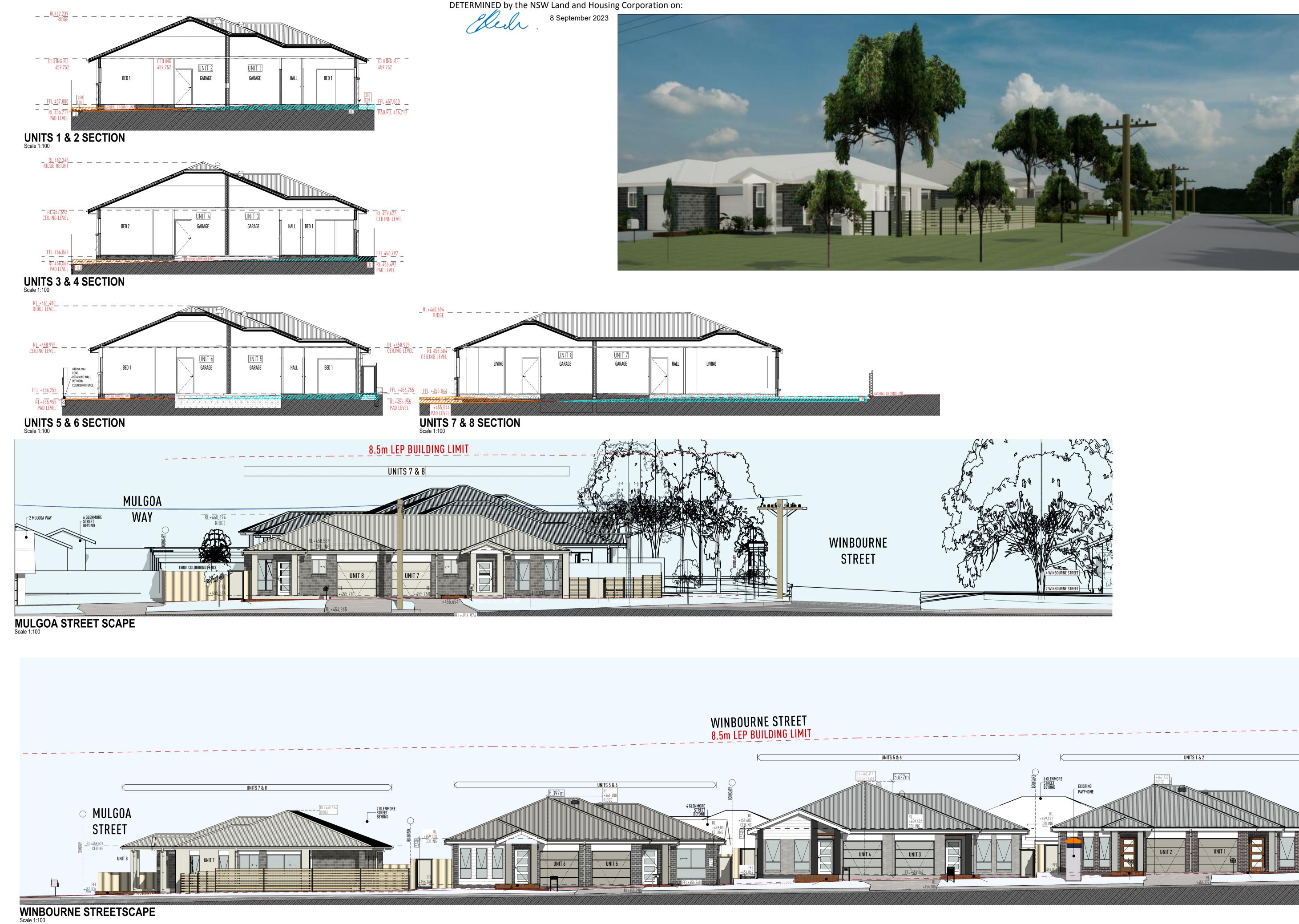
BARNSON ENGINEERS



Environment

UNITS 7 & 8 LAYOUT

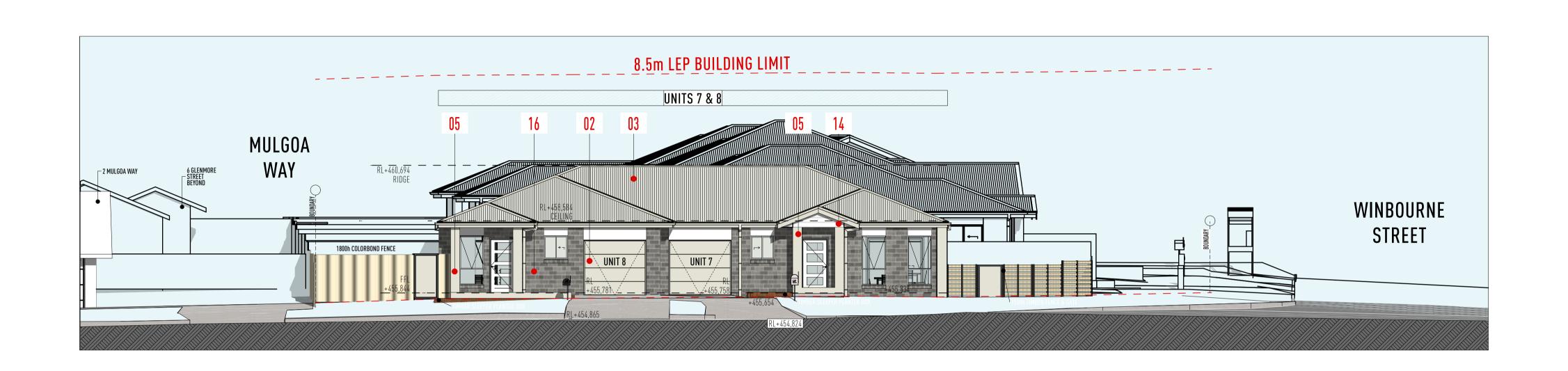
/23 AMENDMENTS TO LANDSCAPING PLAN/TREE HP271 20/04/2023 17 of 21

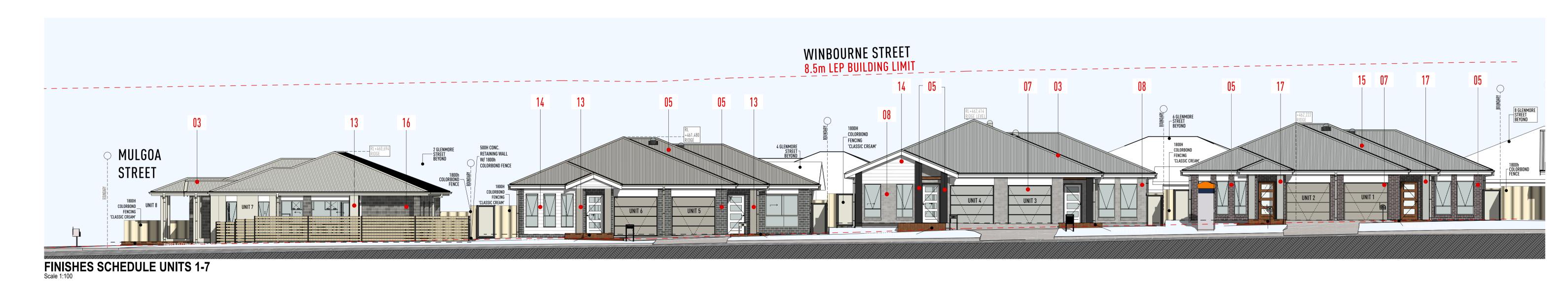




# **EXTERNAL FINISHES SHEDULE**

01	PGH BRICKWORK 'Monsoon'	04	COLORBOND 'MONUMENT'	07	PANEL LIFT DOOR 'SHALE GREY'	10	COLORBOND Roof sheet 'dune'	13	RENDER TEXTURE 'DUNE'	16	PGH BRICKWORK 'WHIRLWIND'
02	PANEL LIFT DOOR 'SURFMIST'	05	RENDER TEXTURE "SURFMIST"	08	PGH BRICKWORK 'Lightning'	11	PGH BRICKWORK	14	WEATHERBOARD CLADDING "WHITE FINISH"	17	PAINTED RENDER B/W TEXTURE 'WALLABY'
03	COLORBOND Sheet roof 'Surfmist'	06	COLORBOND Sheet roof 'Shale Grey'	09	RENDER TEXTURE 'Shale Grey'	12	PANEL LIFT GARAGE DOOR 'DUNE'	15	COLORBOND Sheet roof 'Wallaby'	18	PANEL LIFT GARAGE DOOR 'WALLABY'





BASIX CONSULTANT
MICHEAL KIHO
PH 0400 680 815



**MULGOAS STREET PERSPECTIVE** 



WINBOURNE STREET PERSPECTIVE



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PROJECT MANAGER

LAND & HOUSING CORPORATION
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BARNSON ENGINEERS
PH 13 227 676 BASIX CONSULTANT
MICHEAL KIHO
PH 0400 680 815 LANDSCAPE CONSULTANT

OUTSCAPE LANDSCAPE DESIGN

Planning NSW GOVERNMENT Environment

STREETSCAPE PERSPECTIVE

# Civil Engineering Works, Development Application Documentation

Proposed Development, LOT 17 & 18, DP 230349, WINBOURNE STREET, Mudgee NSW 2850

# SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
27736-C00	COVER SHEET
27736-C01	LEVEL AND DETAIL SURVEY PLAN
27736-C02	PROPOSED SITE PLAN
27736-C03	PROPOSED SEWER PLAN
27736-C04	PROPOSED SEWER DETAILS AND LONGSECTION
27736-C05	PROPOSED STORMWATER MANAGEMENT PLAN
27736-C06	PROPOSED STORMWATER DETAILS
27736-C07	PROPOSED WATER PLAN
27736-C08	PROPOSED SEDIMENT & EROSION CONTROL PLAN
27736-C09	PROPOSED SEDIMENT & EROSION CONTROL DETAILS





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PROPOSED DEVELOPMENT AT LOT 17 & 18, DP 230349, WINBOURNE STREET MUDGEE

Drawing Title: COVER PAGE

Rev Date Amendment A 14-11-2022 ISSUED FOR APPROVAL B 27-02-2023 SHEET ADDED

C 27-03-2023 STORMWATER DESIGN REVISED

Certification

Drawn **MK** 

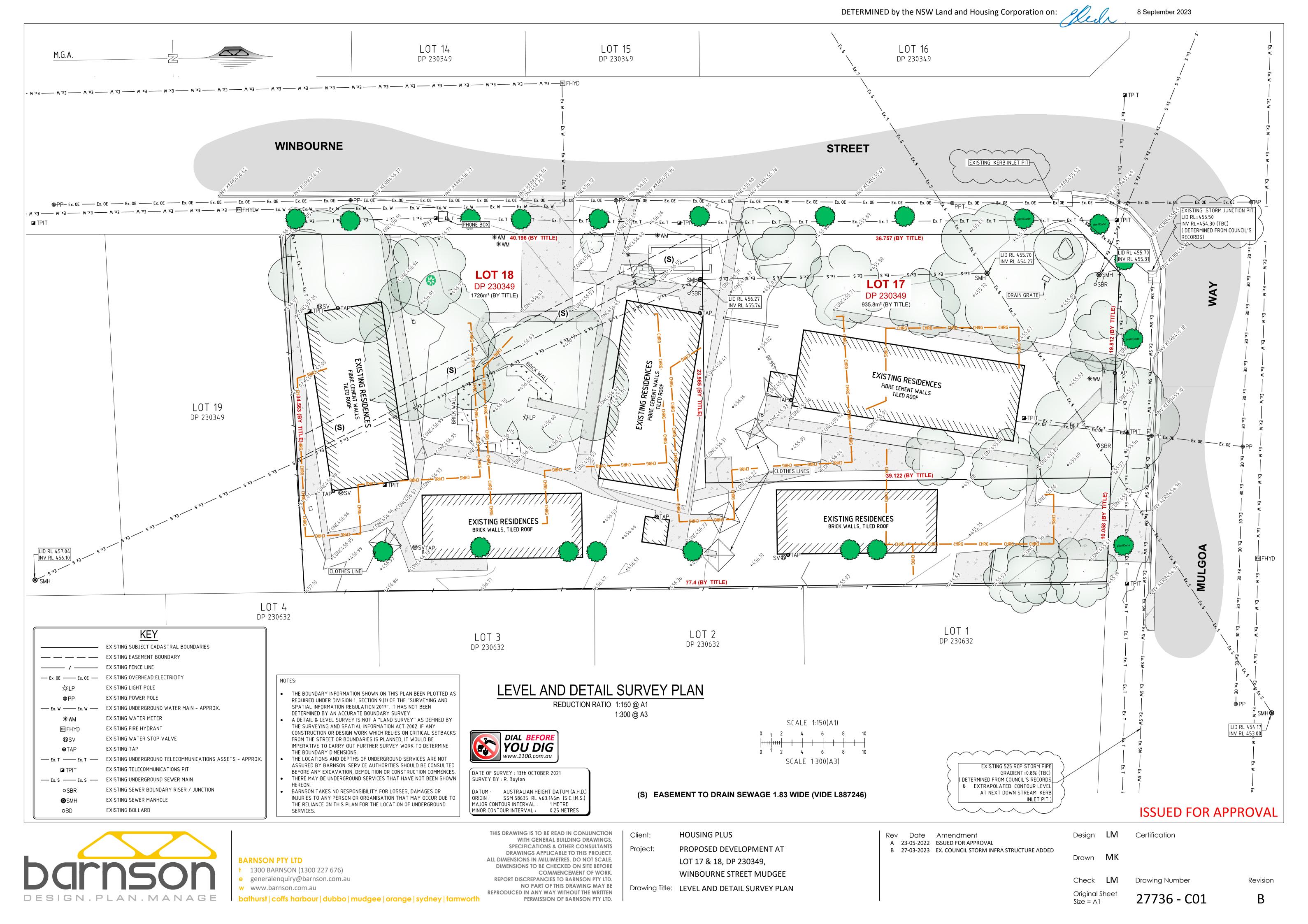
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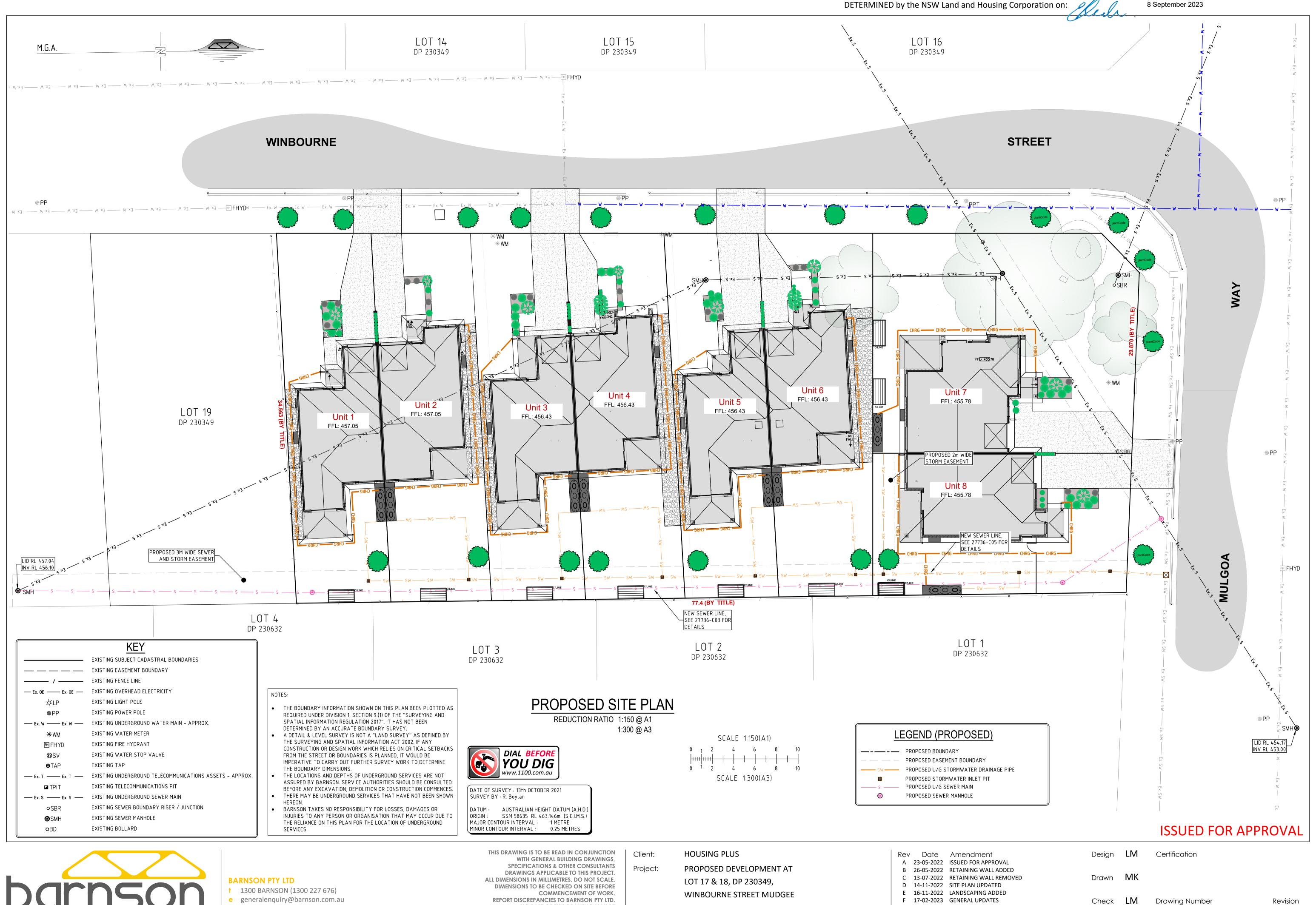
Check LM Drawing Number Original Sheet

27736 - COO

Revision

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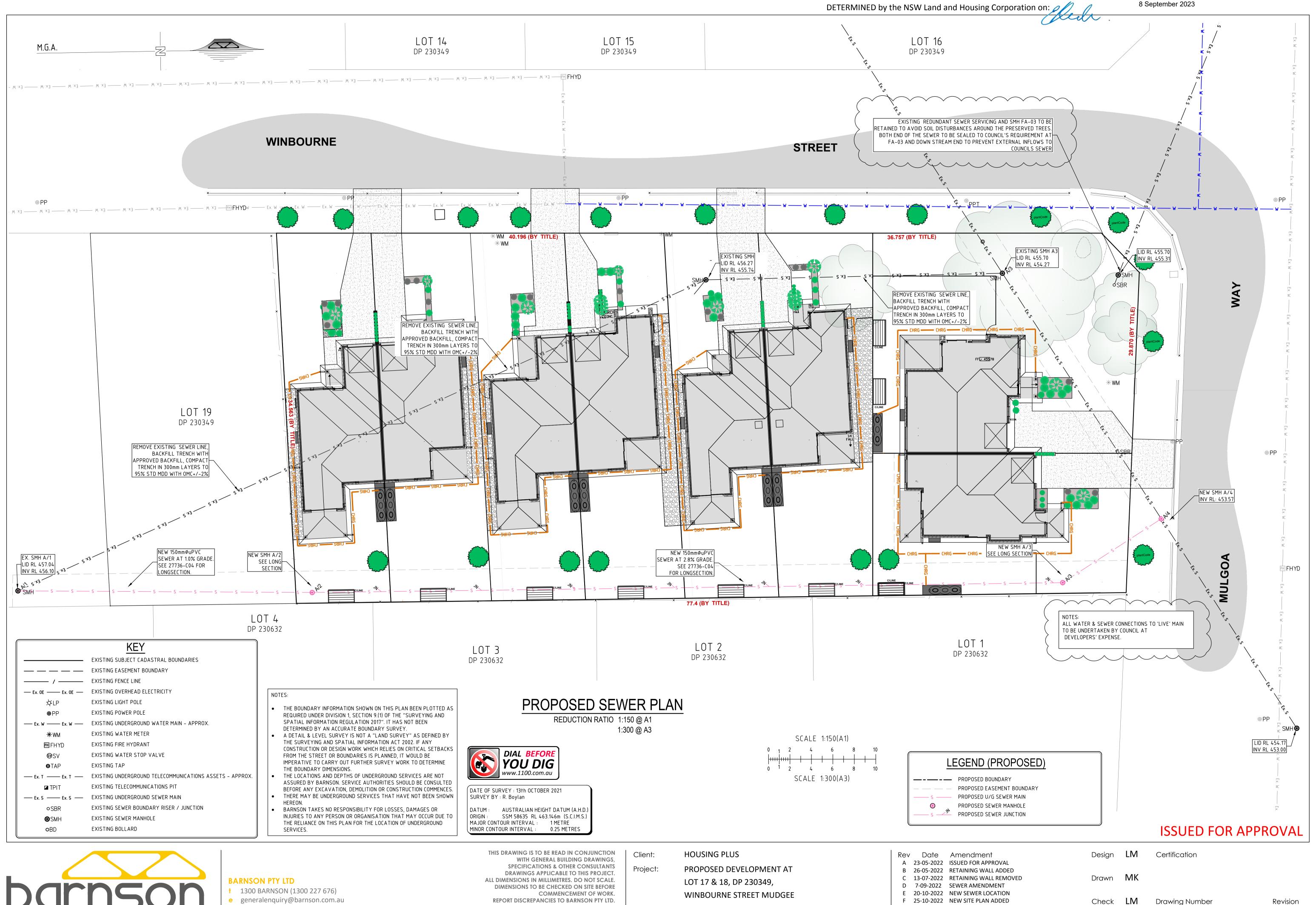
Drawing Title: PROPOSED SITE PLAN

G 27-03-2023 STORMWATER DESIGN REVISED

27736 - CO2

Original Sheet

Size = A1





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NO PART OF THIS DRAWING MAY BE Drawing Title: PROPOSED SEWER PLAN F 25-10-2022 NEW SITE PLAN ADDED G 14-11-2022 SITE PLAN UPDATED H 16-11-2022 LANDSCAPING ADDED

I 27-02-2023 SEWER RE-ROUTED

Drawing Number 27736 - CO3

Original Sheet

Size = A1

# 8 September 2023

# NOTES

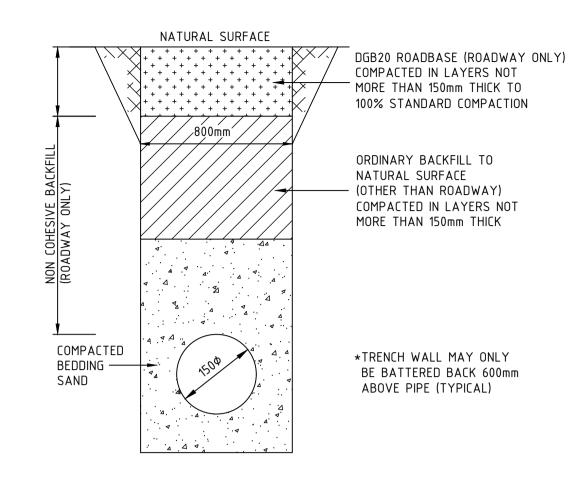
- 1. ALL SEWER MAINS SHALL BE 1500/2250 CLASS SN8 RRJ UPVC PIPE. ALL GRAVITY LINES TO USE SEWER GRADE FITTINGS WHERE REQUIRED.
- 2. CONSTRUCTION OF SEWER MAINS AND MANHOLES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE WSA SEWERAGE CODE, WSA-02, 2002.
- 3. ANY OTHER SERVICES INCLUDING TELSTRA, GAS, POWER, WATER AND STORMWATER MUST BE LOCATED BEFORE WORK COMMENCES.
- 4. MANHOLES SHALL BE PRECAST CONCRETE FROM A SUPPLIER APPROVED BY COUNCIL AND HAVE A ROUND REMOVABLE LIGHT DUTY GATIC COVER (UNO) AND A MINIMUM INTERNAL DIAMTER OF 1020mm.
- 5. 150mmø BOUNDARY RISERS SHALL BE PROVIDED TO EACH LOT TO MID-WESTERN REGIONAL COUNCIL'S GUIDELINES FOR ENGINEERING WORKS.
- 6. RISERS AND SIDELINES TO BE CONSTRUCTED TO WSA-02 2002.
- 7. FLOW LINE CHANNELS AND INTERSECTIONS SHALL BE CONSTRUCTED THROUGH MANHOLES AS PER WSA-02 2002.
- 8. ALL SEWER MAINS TO BE PRESSURE TESTED AS PER WSA-02 2002 AND MID-WESTERN REGIONAL COUNCIL'S GUIDELINES FOR ENGINEERING WORKS.

# BEDDING NOTES

- 1. THE MINIMUM DEPTH TO TOP OF PIPE SHALL BE 1000mm, EXCEPT UNDER ROAD PAVEMENT WHERE MINIMUM COVER TO TOP OF PIPE SHALL BE 1200mm MINIMUM UNLESS SHOWN OTHERWISE. PIPES WITH LESS COVER THAN THESE LIMITS TO BE CONCRETE ENCASED, AND DICL UNDER ROADS.
- 2. GRADES OF GRAVITY SEWER NOT TO BE FLATTER THAN 1:179 (0.55%) FOR 150mm DIAMETER PIPES AS PER WSA-2014.
- 3. MANHOLES SHALL BE PLACED AT EACH CHANGE IN DIRECTION OR GRADE OF THE PIPE LINE AT INTERVALS ALONG THE LINE NOT EXCEEDING

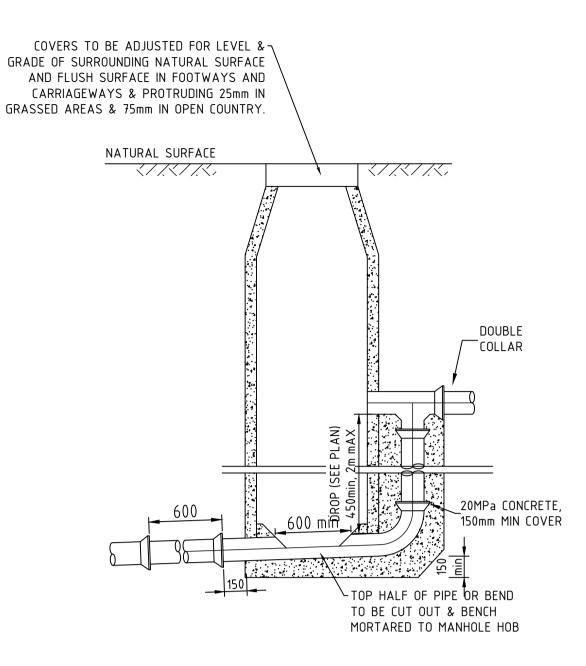
# INSPECTION HOLD POINTS

- 1. INSTALLATION OF SEDIMENT & EROSION CONTROL MEASURES.
- 2. SEWER LINE INSTALLATION PRIOR TO BACKFILL.
- 3. PRACTICAL COMPLETION.



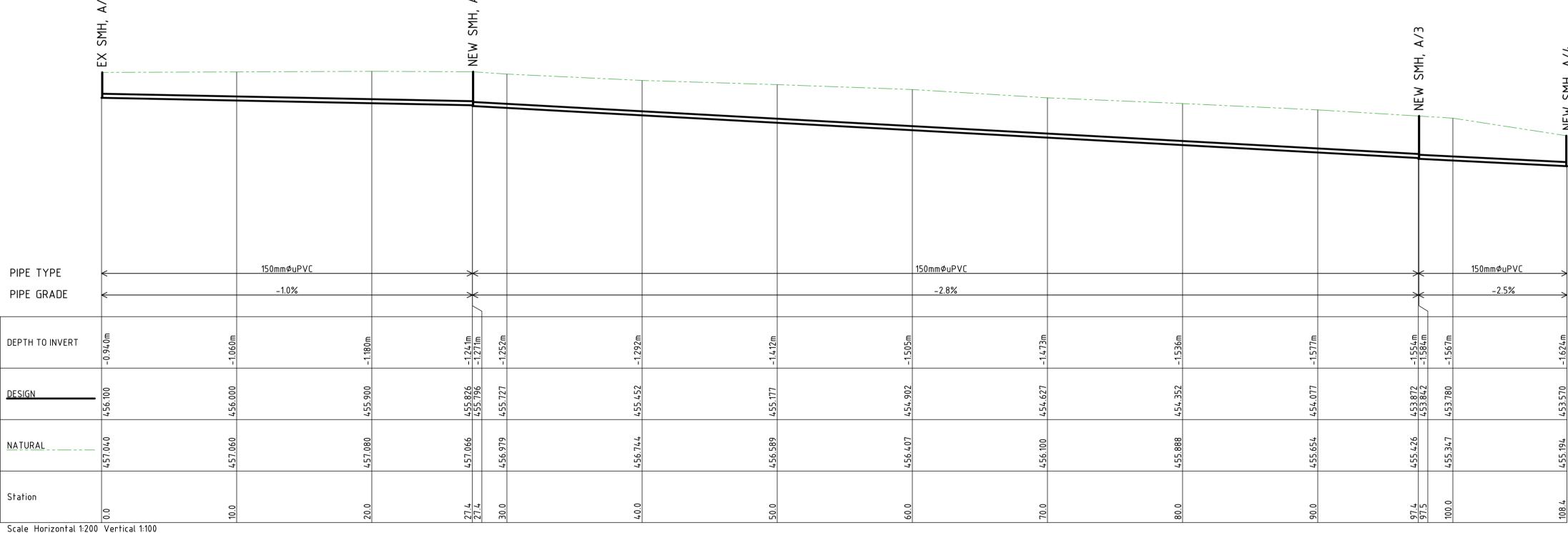
# TYPICAL TRENCH SECTION

\* INSTALLATION OF UPVC PIPES SHALL TO CONFORM TO AS2032-1977 "INSTALLATION OF UPVC PIPE SYSTEMS", AS2566-1998 "BURIED FLEXIBLE PIPELINES", WSA-02 2002 AND MANUFACTURERS INSTRUCTIONS.



TYPICAL EXTERNAL DROP (150mmø)

N.T.S.



LONGITUDINAL SECTION - SEWER LINE REDUCTION RATIO H 1:250

V 1:100

# **ISSUED FOR APPROVAL**



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**HOUSING PLUS** Client: PROPOSED DEVELOPMENT AT Project: LOT 17 & 18, DP 230349, WINBOURNE STREET MUDGEE Drawing Title: PROPOSED SEWER DETAILS

AND LONGSECTION

Rev Date Amendment A 23-05-2022 ISSUED FOR APPROVAL B 14-11-2022 SITE PLAN UPDATED C 27-02-2023 SEWER LONGSECTION UPDATED

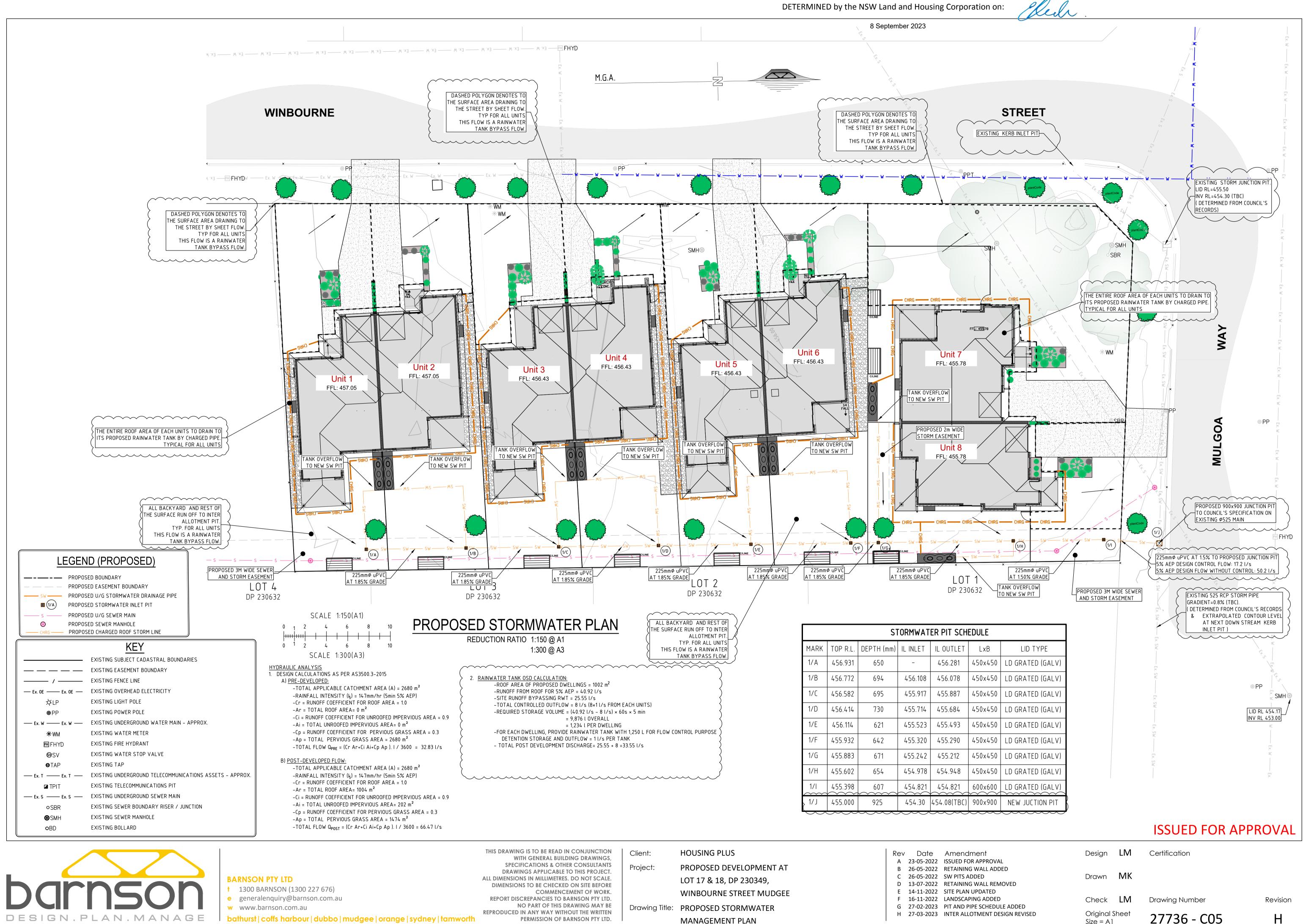
Certification Drawn **MK** 

Size = A1

Drawing Number Original Sheet

27736 - C04

Revision



MANAGEMENT PLAN



27736 - C05 Н

Size = A1

# STORMWATER NOTES

1. CONTRACTOR IS TO ADEQUATELY INFORM HIMSELF AS TO THE DEPTH AND LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. PIPE IS TO BE LAID AT UNIFORM GRADE BETWEEN INVERT LEVELS SHOWN WITH MINIMUM COVER MAINTAINED UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.

3. MINIMUM COVER OVER ALL PIPES IN NON-TRAFFICABLE AREAS TO BE 450mm UNO. MINIMUM COVER OVER ALL PIPES IN TRAFFICABLE AREAS TO BE 600mm UNO. WHEN THIS CRITERIA CANNOT BE ACHIEVED, PIPES TO BE ENCASED IN 150 CONCRETE.

5. ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.

6.PRECAST PITS MAY BE USED AS APPROVED BY THE SUPERINTENDENT.

7. ALL PIPES SHALL BE RUBBER RING JOINTED CLASS '2' UNLESS NOTED OTHERWISE.

# COMPACTION OF BACKFILL

# 1. BEDDING SAND

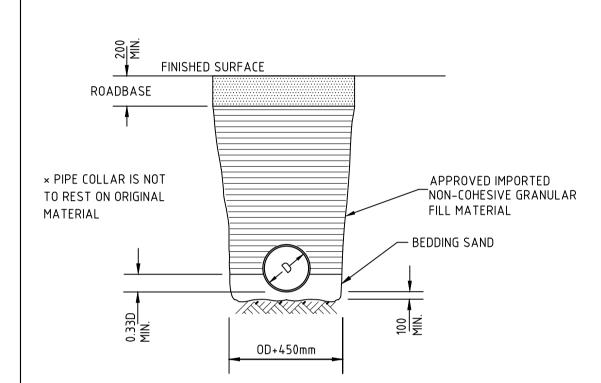
BEDDING SAND SHALL BE GRANULAR MATERIAL HAVING A LOW PERMEABILITY AND HIGH STABILITY WHEN SATURATED, CONFORMING TO THE GRADING LIMITS FOR BEDDING SAND AS INDICATED IN THE CONTRACT DOCUMENTS. BEDDING SAND SHALL BE COMPACTED TO A DENSITY INDEX OF 70% AS DETERMINED IN ACCORDANCE WITH AS1289.

# 2. APPROVED IMPORTED GRANULAR FILL

ONLY IMPORTED GRANULAR FILL MATERIAL APPROVED BY THE SUPERINTENDENT SHALL BE USED. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 150mm THICK TO A DRY DENSITY OF 95% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL AND WITH A MOISTURE CONTENT NO MORE THAN 1% ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.

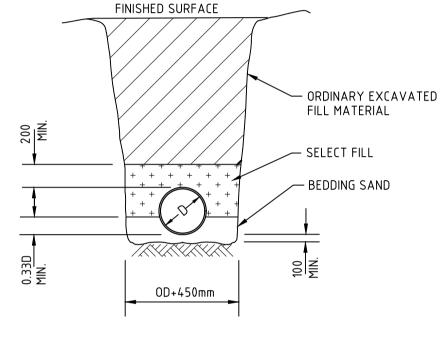
# 3. ORDINARY EXCAVATED FILL MATERIAL

ORDINARY EXCAVATED FILL MATERIAL IS EXCAVATED TRENCH MATERIAL THAT IS FREE OF VEGETABLE MATTER, HUMUS, LARGE CLAY LUMPS AND ROCK BOULDERS. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK, TO A DENSITY OF 90% OF THE STANDRAD MAXIMUM DRY DENSITY OF THE MATERIAL WITH A MOISTURE CONTENT OF NOT MORE THAN 1% ABOVE THE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289.



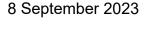
TYPICAL SECTION - TRENCH IN ROADWAY

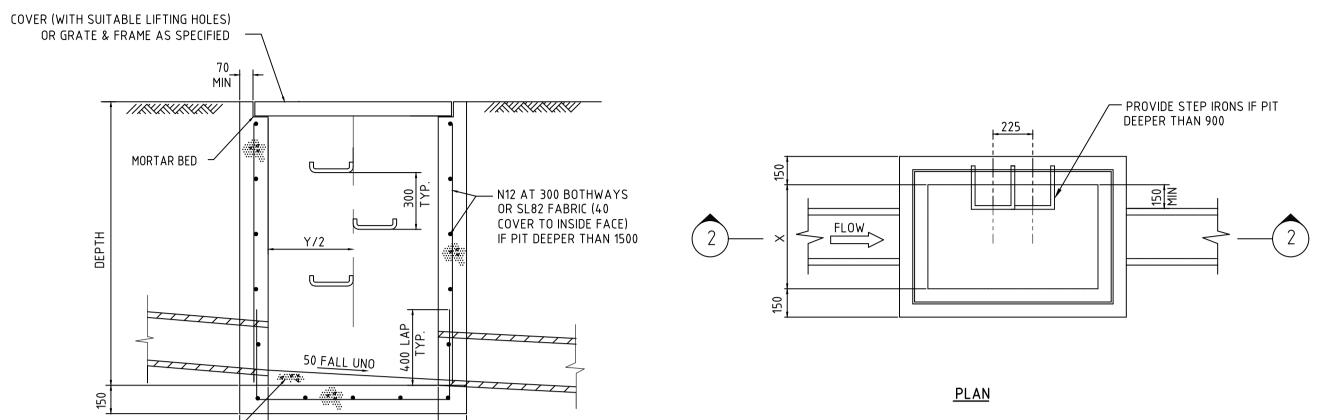
N.T.S.



TYPICAL SECTION - EARTH FOUNDATION TRENCH N.T.S.







PIT DIMENSIONS		
DEPTH	X	Y
D<600	450	450
D<1000	600	600
D<1500	600	900
1500 <d<2400< td=""><td>900</td><td>900</td></d<2400<>	900	900
D>2400	750	1200

MASS CONCRETE BENCHING — 150

GRATED INLET PIT

Rev Date Amendment

A 23-05-2022 ISSUED FOR APPROVAL

B 26-05-2022 PLAN SET RE-NUMBERED

N.T.S.

Design **LM** Certification

Drawn **MK** 

Check LM

Original Sheet

Size = A1

Drawing Number

27736 - C06

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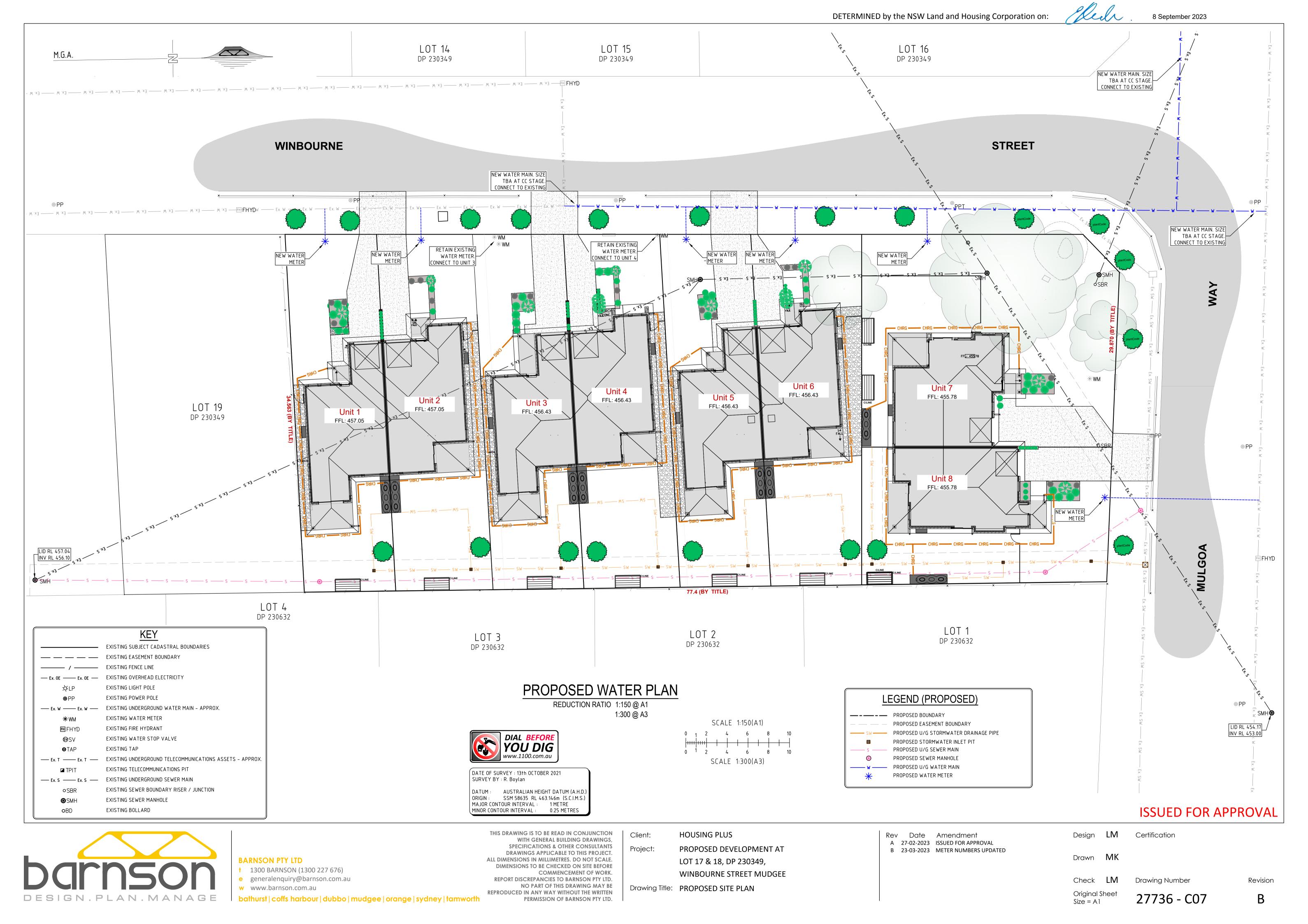
bathurst | coffs harbour | dubbo | mudgee | orange | sydney | tamworth

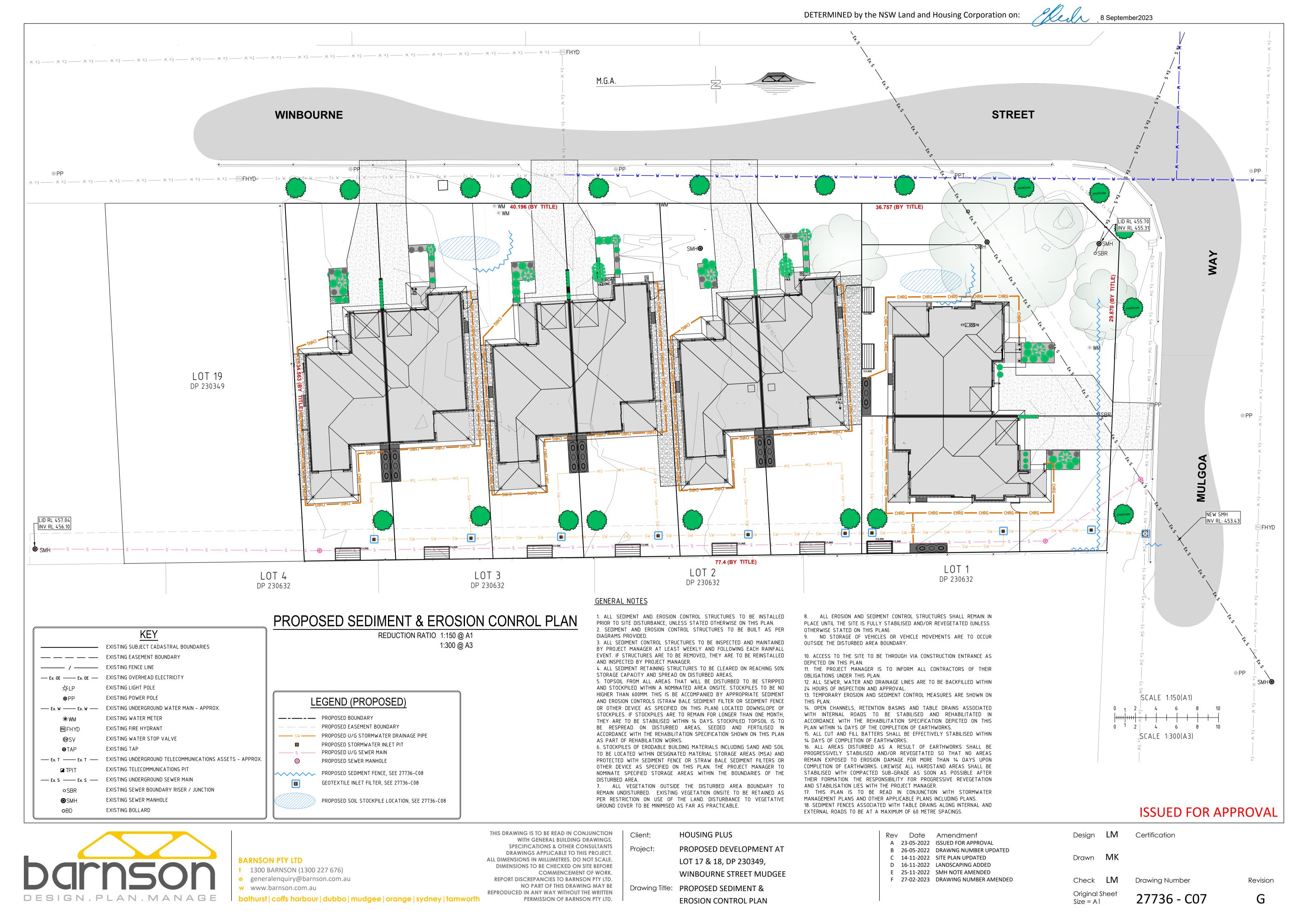
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Drawing Title: PROPOSED STORMWATER **DETAILS** 

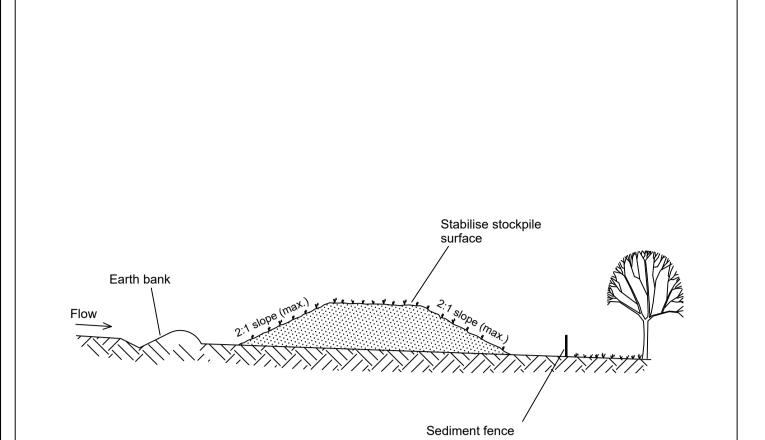
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8 September 2023

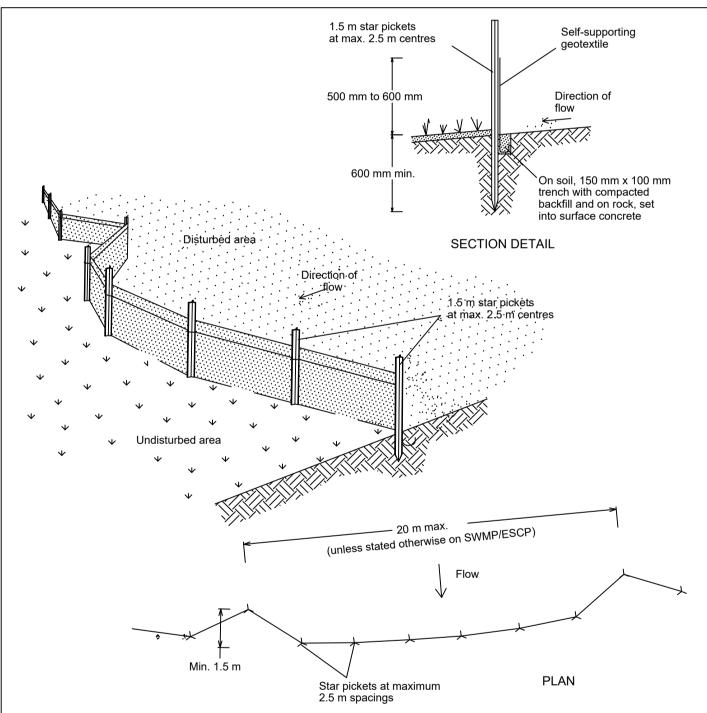




# **Construction Notes**

- 1. Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
- 2. Construct on the contour as low, flat, elongated mounds.
- 3. Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
- 4. Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
- 5. Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-8) 1 to 2 metres downslope.

# **STOCKPILES** SD 4-1

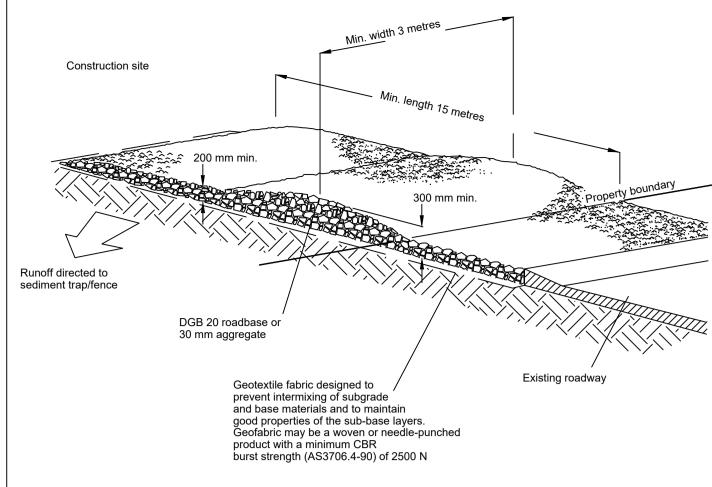


# Construction Notes

- 1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
- 2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
- 3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
- 4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this
- purpose is not satisfactory. 5. Join sections of fabric at a support post with a 150-mm overlap.
- 6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

# SEDIMENT FENCE

SD 6-8

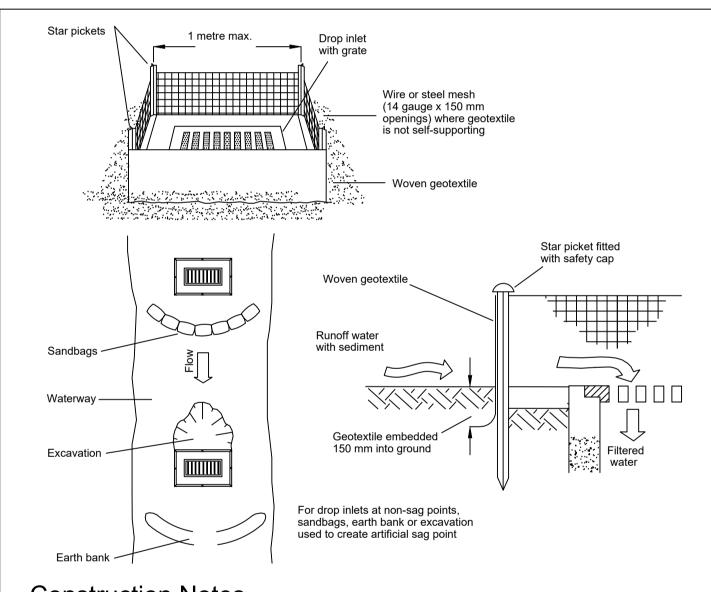


# Construction Notes

- 1. Strip the topsoil, level the site and compact the subgrade.
- 2. Cover the area with needle-punched geotextile.
- 3. Construct a 200 mm thick pad over the geotextile using road base or 30 mm aggregate.
- 4. Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres
- 5. Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence

# STABILISED SITE ACCESS

SD 6-14



# Construction Notes

- 1. Fabricate a sediment barrier made from geotextile or straw bales.
- 2. Follow Standard Drawing 6-7 and Standard Drawing 6-8 for installation procedures for
- the straw bales or geofabric. Reduce the picket spacing to 1 metre centres. 3. In waterways, artificial sag points can be created with sandbags or earth banks as shown
- in the drawing.
- 4. Do not cover the inlet with geotextile unless the design is adequate to allow for all waters to bypass it.

# GEOTEXTILE INLET FILTER

SD 6-12

# **ISSUED FOR APPROVAL**

Revision

D



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THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN

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**HOUSING PLUS** Client: PROPOSED DEVELOPMENT AT Project: LOT 17 & 18, DP 230349,

WINBOURNE STREET MUDGEE Drawing Title: PROPOSED SEDIMENT &

EROSION CONTROL DETAILS

Rev Date Amendment A 23-05-2022 ISSUED FOR APPROVAL B 26-05-2022 DRAWNG NUMBER UPDATED C 14-11-2022 INLET FILTER DETAIL ADDED D 27-02-2023 DRAWING NUMBER AMENDED

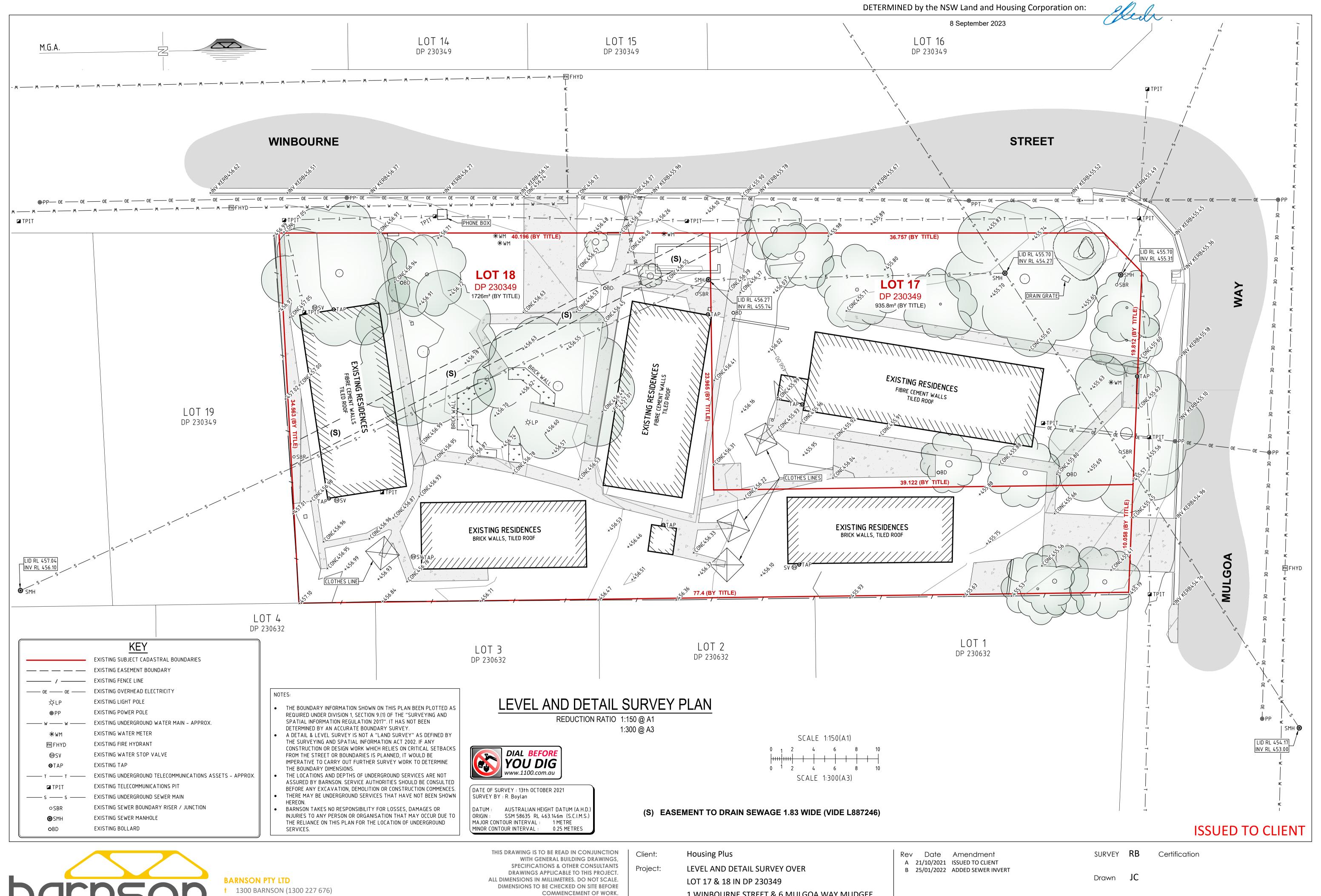
Design Certification

Drawn **MK** 

Drawing Number

Check LM Original Sheet Size = A1

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1 WINBOURNE STREET & 6 MULGOA WAY MUDGEE Drawing Title: LEVEL AND DETAIL SURVEY PLAN

Drawing Number Check

Original Sheet

Size = A1

37752 - L01

Revision